

TBB #: 07-2013, 07-2014, 07-2015  
 Address: 403, 415, + 410 NORTH GARDEN ST.  
 Type Const.: VB  
 Code Version: 2004 + 2005 + 2006 Suppl.  
 Add Note on Sheet: A.O.I  
 Shell Permit:  Y  N

8-16-07  
 REVIEWED FOR CODE COMPLIANCE  
 BUILDING INSPECTION  
 CITY OF TALLAHASSEE  
 This review does not relieve the applicant from responsibility to comply with all applicable codes, laws and ordinances. Any changes to reviewed plans must be submitted for review.

REVIEWED AS NOTED  
 FIRE PREVENTION DIVISION  
 CITY OF TALLAHASSEE  
 FIRE DEPARTMENT  
 This Review does not relieve the applicant from responsibility to comply with all applicable codes, laws and ordinances. Any changes to reviewed plans must be submitted for approval.  
 8-16-07

# 100% Construction Documents

December 20, 2006  
 ALW Project No. 06132



Architects: Lewis + Whitlock, P.A.  
 501 East Tennessee Street, Suite D  
 Tallahassee, Florida 32308  
 phone 850.942.1718  
 fax 850.942.2110  
 email alw@think3d.net

FL AA0003316

Set No.:

Date Issued:

## Embassy House Apartments

for  
 Embassy House, LLC

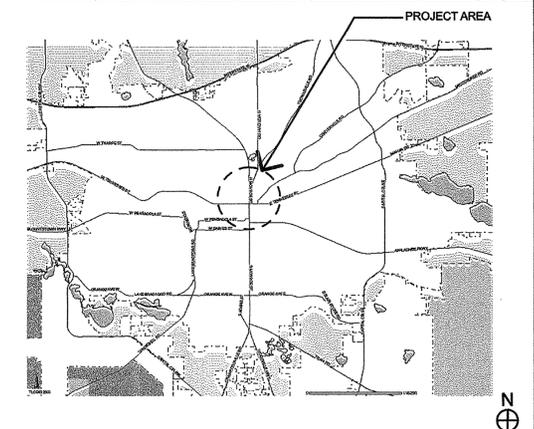
### Applicable Codes:

- Florida Building Code, Building (FBC-B) 2004 Edition (with '05 & '06 Revisions)
- Florida Building Code, Mechanical (FBC-M) 2004 Edition (with '05 & '06 Revisions)
- Florida Building Code, Fuel Gas (FBC-FG) 2004 Edition (with '05 & '06 Revisions)
- Florida Building Code, Plumbing (FBC-P) 2004 Edition (with '05 & '06 Revisions)
- Florida Fire Prevention Code (FFPC) 2004 Edition (with '05 & '06 Revisions)
- National Electrical Code (NEC) 2004 Edition (with Revisions)

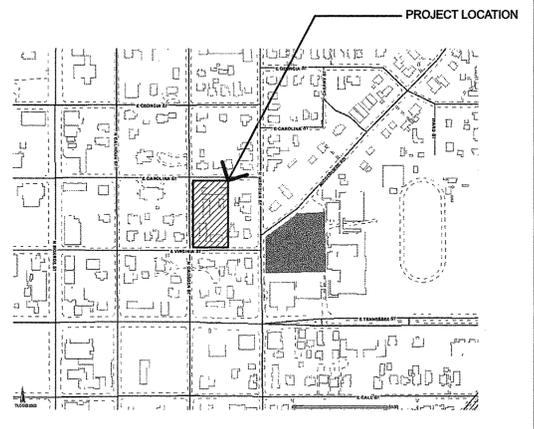
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ALW  
8-16-07



Area Map



Location Map

CS	COVER SHEET
G1.0	INDEX OF DRAWINGS, LEGEND OF ARCHITECTURAL MATERIALS AND SYMBOLS, AND INDEX OF STANDARD ABBREVIATIONS
A0.1	SITE PLAN/ SURVEY AND FIRE SYSTEMS
A1.1	DEMOLITION PLANS AND NOTES, ARCHITECTURAL PLANS AND CONSTRUCTION NOTES, GENERAL NOTES AND FINISH SCHEDULE
A1.2	FURNITURE AND LIFE SAFETY PLANS, FRAMING NOTES, CODE SUMMARY, AND PRODUCT APPROVAL
A2.1	TYPICAL EXTERIOR ELEVATION, EXTERIOR FINISH LEGEND, INTERIOR ELEVATIONS
A3.1	PARTIAL BUILDING SECTION, WALL DETAILS AND EXTERIOR WALL SYSTEM SPECS
P1.1	PLUMBING PLANS
E1.1	ELECTRICAL PLANS
M1.1	MECHANICAL PLANS & NOTES

Index of Drawings:

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Architectural General Notes:

	EARTH / COMPACTED FILL		ROUGH LUMBER
	POROUS FILL / GRAVEL		WOOD BLOCKING
	CAST IN PLACE		GLASS
	SAND / MORTAR / PLASTER / CUT STONE		GLASS BLOCK
	BRICK		ACOUSTICAL OR THERMAL BATTS
	CONCRETE MASONRY UNIT		RIGID INSULATION (WALL OR ROOF)
	SOUND BLOCK MASONRY UNIT		SPRAY / FOAM
	STEEL / OTHER METAL		FINISHES
	METAL GAUGE SCALE		ACOUSTICAL TILE
	REINFORCING BARS (SHOWN EACH WAY)		CARPET
	PLYWOOD LARGE SCALE		METAL LATH & PLASTER
	PLYWOOD SMALL SCALE		CERAMIC TILE
			GYPSUM BOARD

Legend of Architectural Materials:

ABV - ABOVE	E - EAST	LT - LIGHT	SOG - SLAB ON GRADE
A/C - AIR CONDITIONING	EA - EACH	LTL - LINTEL	SPA - SPACE
ACI - AMERICAN CONCRETE INSTITUTE	EF - EACH FACE	LWTW - LIGHTWEIGHT	SPCR - SPACER
ACSTL - ACOUSTICAL TILE	EJ - EXPANSION JOINT	LPT - LOW POINT	SPEC - SPECIFICATION
ACT - ACTUAL	EL - ELEVATION	LVR - LOUVER	SPKLR - SPRINKLER
ADD - ADDENDUM	ELEC - ELECTRICAL	M - METER	SPM - SINGLE PLY MEMBRANE
ADJ - ADJACENT	ELEV - ELEVATOR, ELEVATION	MACH - MACHINE	SQ - SQUARE
ADJT - ADJUSTABLE	EMER - EMERGENCY	MAR - MARBLE	SSL - SHORT SLOTTED
AFF - ABOVE FINISH FLOOR	ENCL - ENCLOSURE	MAS - MASONRY	SST - STAINLESS STEEL
AGG - AGGREGATE	ENT - ENTRANCE	MATL - MATERIAL	ST - STRUCT TEE CUT FROM STD. BEAM
ALT - ALTERNATE	EQ - EQUAL	MAX - MAXIMUM	STD - STANDARD
ALUM - ALUMINUM	EQPT - EQUIPMENT	MB - MACHINE BOLT	STL - STEEL
ANC - ANCHOR	ES - EXTRA STRONG	MBR - MEMBER	
ANSI - AMERICAN NATIONAL STDS. INST.	EST - ESTIMATED	MECH - MECHANICAL	
APPROX - APPROXIMATE	EW - EACH WAY	MEMB - MEMBRANCE	
ARCH - ARCHITECTURAL	EWC - ELECTRICAL WATER COOLER	METL - METAL	
ASPH - ASPHALT	EXC - EXCAVATE	MEZZ - MEZZANINE	
AWS - AMERICAN WELDING SOCIETY	EXH - EXHAUST	MFR - MANUFACTURER	
	EXIST - EXISTING	MH - MANHOLE	
	EXP - EXPOSED	MI - MALLEABLE IRON	
	EXPN - EXPANSION	MIN - MINIMUM	
	EXP JT - EXPANSION JOINT	MISC - MISCELLANEOUS	
	EXT - EXTERIOR	MK - MARK	
	EIFS - EXTERIOR INSUL AND FINISH SYSTEM	ML - MATCH LINE	
		MM - MILLIMETER	
		MO - MASONRY OPENING	
		MS - MACHINE SCREW	
		MTD - MOUNTED	
		MULL - MULLION	
		N - NORTH	
		NA - NOT APPLICABLE	
		NFPA - NATIONAL FIRE PROTECTION AGENCY	
		NIC - NOT IN CONTRACT	
		NO. - NUMBER	
		NOM - NOMINAL	
		NS - NON SHRINK	
		NTS - NOT TO SCALE	
		OA - OVERALL	
		OC - ON CENTER	
		OD - OUTSIDE DIAMETER	
		OH - OVERHEAD	
		OPNG - OPENING	
		OPP - OPPOSITE	
		OPPH - OPPOSITE HAND	
		OVS - OVERSIZED	
		OZ - OUNCE	
		PC - PRECAST	
		PCF - POUNDS PER CUBIC FOOT	
		PED - PEDESTAL	
		PKG - PARKING	
		PL - PLATE	
		PLAS - PLASTIC	
		PLBG - PLUMBING	
		PLF - POUNDS PER LINEAL FOOT	
		PLYWD - PLYWOOD	
		PNL - PANEL	
		POL - POLISHED	
		PP - PANEL POINT	
		FR - FAIR	
		PRCST - PRECAST	
		PREFAB - PREFABRICATED	
		PREP - PREPARATION	
		PROJ - PROJECTION	
		PSF - POUNDS PER SQUARE FOOT	
		PSI - POUNDS PER SQUARE INCH	
		PSTR - PRESTRESSED	
		PT - PRESURED TREATED, PAINT, POINT	
		PTD - PAINTED	
		PTN - PARTITION	
		PVC - POLYVINYL CHLORIDE	
		PVMT - PAVEMENT	
		QC - QUALITY CONTROL	
		QT - QUARRY TILE	
		R - RISER, REACTION, RADIUS	
		RAD - RADIUS	
		REF - REFERENCE	
		REINF - REINFORCED, REINFORCEMENT	
		REM - REMOVE	
		REQD - REQUIRED	
		RET - RETURN, RETAINING	
		REV - REVISION	
		RFG - ROOFING	
		RH - RIGHT HAND	
		RM - ROOM	
		RO - ROUGH OPENING	
		RT - REVEAL TRIM	
		S - SOUTH, STANDARD BEAM	
		SAN - SANITARY	
		SBC - STANDARD BUILDING CODE	
		SC - SOLID CORE	
		SCHED - SCHEDULE	
		SECT - SECTION	
		SEW - SEWER	
		SF - SQUARE FEET	
		SFBC - SOUTH FLORIDA BUILDING CODE	
		SGL - SINGLE	
		SHT - SHEET	
		SHTH - SHEATHING	
		SIM - SIMILAR	
		SJ - SAWED JOINT	
		SJI - STEEL JOIST INSTITUTE	
		SL - SLEEVE	
		SLO - SHORT LEG OUT	
		SLNT - SEALANT	
		SLV - SHORT LEG VERTICAL	

Standard Abbreviations:

	MATCH LINE
	TEST BORING
	ELEVATION REFERENCE POINT
	WINDOW / STOREFRONT TYPE
	LOUVER OR VENT TYPE
	ROOM / SPACE NUMBER
	DOOR NUMBER
	COLUMN REFERENCE POINT
	ACCESSORY EQUIPMENT
	PROJECT NORTH
	NEW OR REQUIRED POINT ELEV.
	DETAIL OR SECTION REFERENCE (ENLARGED VIEW)
	BUILDING SECTION REFERENCE
	WALL SECTION REFERENCE
	DETAIL REFERENCE
	ELEVATION REFERENCE
	INTERIOR ELEVATION
	NUMBER INDICATES SECTION, ELEVATION OR DETAIL
	SHEET NUMBER WHERE ELEVATION, SECTION OR DETAIL IS DRAWN
	INDICATES FIELD VERIFICATION REQUIRED
	FINISH COLOR
	DEMOLITION NOTES ALPHABETICAL
	CONSTRUCTION NOTES NUMERICAL
	REVISION
	WALL OR PARTITION TYPE
	NEW CONTOURS
	EXISTING CONTOURS
	DASH AND DOT FIRE RATED WALLS
	DOUBLE DASHED LINE PROPERTY LINES, BOUNDARY LINES
	DASHED LINES HIDDEN, FUTURE, OR EXIST. CONST. TO BE REMOVED
	BREAK LINE TO BREAK OFF PARTS OF DRAWING
	SINGLE DASH LINE COLUMN LINES

Legend of Architectural Symbols:

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DESIGN DEVELOPMENT					1. Re-issued Set	ET	R. Lewis	8/7/07
95% CONSTR. DOCUMENTS					2.			
PERMIT DOCUMENTS	PO/R	R. LEWIS		8/16/06	3.			
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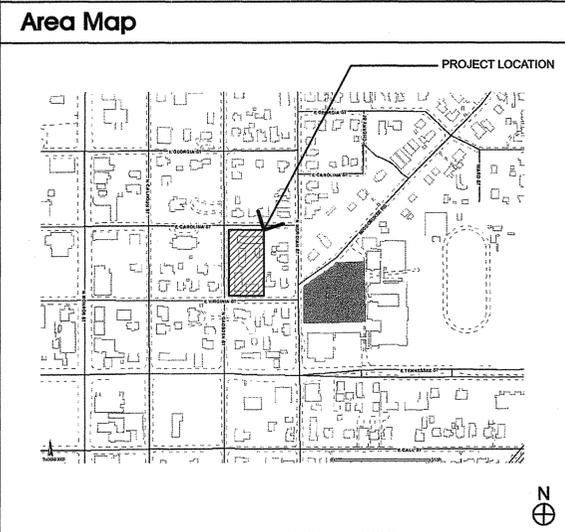
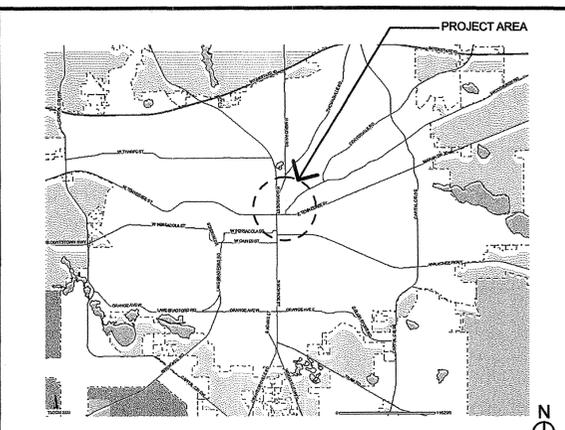
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 www.think3d.net

Description:  
 Index of Drawings, Legend of Architectural Materials and Symbols, and Standard Abbreviations

Sheet No.: **G1.0**



Location Map

CS	COVER SHEET
G1.0	INDEX OF DRAWINGS, LEGEND OF ARCHITECTURAL MATERIALS AND SYMBOLS, AND INDEX OF STANDARD ABBREVIATIONS
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Architectural General Notes:

EARTHWORKS		GLASS	
	EARTH / COMPACTED FILL		ROUGH LUMBER
	POROUS FILL / GRAVEL		WOOD BLOCKING
	CAST IN PLACE		FINISH WOOD TRIM
	SAND / MORTAR / PLASTER / CUT STONE		GLASS
	BRICK		GLASS BLOCK
	CONCRETE MASONRY UNIT		INSULATION
	SOUND BLOCK MASONRY UNIT		ACOUSTICAL OR THERMAL BATTS
	STEEL / OTHER METAL		RIGID INSULATION (WALL OR ROOF)
	REINFORCING BARS (SHOWN EACH WAY)		SPRAY / FOAM
	PLYWOOD LARGE SCALE		FINISHES
	PLYWOOD SMALL SCALE		ACOUSTICAL TILE
			CARPET
			METAL LATH & PLASTER
			CERAMIC TILE
			GYPSUM BOARD

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ABV - ABOVE	E - EAST	LT - LIGHT	SQG - SLAB ON GRADE
AC - AIR CONDITIONING	EA - EACH	LTLL - LINTEL	SPA - SPACE
ACI - AMERICAN CONCRETE INSTITUTE	EF - EACH FACE	LTWT - LIGHTWEIGHT	SPCR - SPACER
ACSTL - ACQUISITION TILE	EJ - EXPANSION JOINT	LPT - LOW POINT	SPEC - SPECIFICATION
ACT - ACTUAL	EL - ELEVATION	LVR - LOUVER	SPKLR - SPRINKLER
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ADJ - ADJACENT	ELEV - ELEVATOR, ELEVATION	MACH - MACHINE	SQ - SQUARE
ADJT - ADJUSTABLE	EMER - EMERGENCY	MAR - MARBLE	SSL - SHORT SLOTTED
AFF - ABOVE FINISH FLOOR	ENCL - ENCLOSURE	MAS - MASONRY	SST - STAINLESS STEEL
AGG - AGGREGATE	ENT - ENTRANCE	MATL - MATERIAL	ST - STRUCT TEE CUT FROM STD. BEAM
ALT - ALTERNATE	EQ - EQUAL	MAX - MAXIMUM	STD - STANDARD
ALUM - ALUMINUM	EQPT - EQUIPMENT	MB - MACHINE BOLT	STL - STEEL
ANS - ANCHOR	ES - EXTRA STRONG	MBR - MEMBER	STOR - STORAGE
ANCI - AMERICAN NATIONAL STDS. INST.	EST - ESTIMATED	MECH - MECHANICAL	STRUCT - STRUCTURAL
APPROX - APPROXIMATE	EW - EACH WAY	MEMB - MEMBRANCE	SUSP - SUSPENDED
ARCH - ARCHITECTURAL	EWC - ELECTRICAL WATER COOLER	METL - METAL	SV - SERVICE
ASPH - ASPHALT	EXC - EXCAVATE	MEZZ - MEZZANINE	SY - SQUARE YARD
ASTM - AMERICAN SOCIETY OF TSTG. & MTLs.	EXH - EXHAUST	MFR - MANUFACTURER	SYM - SYMMETRICAL
AWS - AMERICAN WELDING SOCIETY	EXIST - EXISTING	MH - MANHOLE	SYS - SYSTEM
	EXP - EXPOSED	MI - MALLEABLE IRON	SGFT - STRUCT GLAZED FACING TILE
	EXPAN - EXPANSION	MIN - MINIMUM	
	EXP JT - EXPANSION JOINT	MISC - MISCELLANEOUS	
	EXT - EXTERIOR	MK - MARK	
	EIFS - EXTERIOR INSUL AND FINISH SYSTEM	ML - MATCH LINE	
		MM - MILLIMETER	
		MNO - MASONRY OPENING	
		MS - MACHINE SCREW	
		MTD - MOUNTED	
		MULL - MULLION	
		N - NORTH	
		NA - NOT APPLICABLE	
		NFPA - NATIONAL FIRE PROTECTION AGENCY	
		NIC - NOT IN CONTRACT	
		NO. - NUMBER	
		NOM - NOMINAL	
		NS - NON SHRINK	
		NTS - NOT TO SCALE	
		OA - OVERALL	
		OC - ON CENTER	
		OD - OUTSIDE DIAMETER	
		OH - OVERHEAD	
		OPNG - OPENING	
		OPP - OPPOSITE	
		OPPH - OPPOSITE HAND	
		OVS - OVERSIZED	
		OZ - OUNCE	
		PC - PRECAST	
		PCF - POUNDS PER CUBIC FOOT	
		PE - PEDESTAL	
		PKG - PARKING	
		PL - PLATE	
		PLAS - PLASTIC	
		PLBG - PLUMBING	
		PLF - POUNDS PER LINEAL FOOT	
		PLYWD - PLYWOOD	
		PNL - PANEL	
		POL - POLISHED	
		PP - PANEL POINT	
		PR - PAIR	
		PRCST - PRECAST	
		PRFAB - PREFABRICATED	
		PREP - PREPARATION	
		PROJ - PROJECTION	
		PSF - POUNDS PER SQUARE FOOT	
		PSI - POUNDS PER SQUARE INCH	
		PSTR - PRESTRESSED	
		PT - PRESURED TREATED, PAINT, POINT	
		PTD - PAINTED	
		PTN - PARTITION	
		PVC - POLYVINYL CHLORIDE	
		PVMT - PAVEMENT	
		QC - QUALITY CONTROL	
		QT - QUARRY TILE	
		R - RISER, REACTION, RADIUS	
		RAD - RADIUS	
		REF - REFERENCE	
		REINF - REINFORCED, REINFORCEMENT	
		REM - REMOVE	
		REOD - REQUIRED	
		RET - RETURN, RETAINING	
		REV - REVISION	
		RFG - ROOFING	
		RH - RIGHT HAND	
		RM - ROOM	
		RO - ROUGH OPENING	
		RT - REVEAL TRIM	
		S - SOUTH, STANDARD BEAM	
		SAN - SANITARY	
		SBC - STANDARD BUILDING CODE	
		SC - SOLID CORE	
		SCHED - SCHEDULE	
		SECT - SECTION	
		SEW - SEWER	
		SF - SQUARE FEET	
		SFBC - SOUTH FLORIDA BUILDING CODE	
		SGL - SINGLE	
		SHT - SHEET	
		SHTH - SHEATHING	
		SIM - SIMILAR	
		SJ - SAWED JOINT	
		SJI - STEEL JOIST INSTITUTE	
		SL - SLEEVE	
		SLO - SHORT LEG OUT	
		SLNT - SEALANT	
		SLV - SHORT LEG VERTICAL	

Standard Abbreviations:

	MATCH LINE
	TEST BORING
	ELEVATION REFERENCE POINT
	WINDOW / STOREFRONT TYPE
	LOUVER OR VENT TYPE
	ROOM / SPACE NUMBER
	DOOR NUMBER
	COLUMN REFERENCE POINT
	ACCESSORY EQUIPMENT
	PROJECT NORTH
	NEW OR REQUIRED POINT ELEV.
	DETAIL OR SECTION REFERENCE (ENLARGED VIEW)
	BUILDING SECTION REFERENCE
	WALL SECTION REFERENCE
	DETAIL REFERENCE
	ELEVATION REFERENCE
	INTERIOR ELEVATION
	NUMBER INDICATES SECTION, ELEVATION OR DETAIL
	SHEET NUMBER WHERE ELEVATION, SECTION OR DETAIL IS DRAWN

ELEVATION, SECTION OR DETAIL SYMBOL

	FINISH COLOR
	DEMOLITION NOTES ALPHABETICAL
	CONSTRUCTION NOTES NUMERICAL
	REVISION
	WALL OR PARTITION TYPE
	NEW CONTOURS
	EXISTING CONTOURS
	DASH AND DOT FIRE RATED WALLS
	DOUBLE DASHED LINE PROPERTY LINES, BOUNDARY LINES
	DASHED LINES HIDDEN, FUTURE, OR EXIST. CONST. TO BE REMOVED
	BREAK LINE TO BREAK OFF PARTS OF DRAWING
	SINGLE DASH LINE COLUMN LINES

Legend of Architectural Symbols:

PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:
AS BUILTS				1.			
SCHEMATIC DESIGN				2.			
DESIGN DEVELOPMENT				3.			
95% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/18/08	5.			
100% CONSTR. DOCUMENTS	PO/RL	R. LEWIS	11/20/08	6.			

Consultants:

Seal:

architects  
lewis + whitlock  
501 east tennessee st., ste d  
tallahassee, fl. 32308  
phone: 942.1718 fax: 942.2110  
www.think3d.net

Description:  
Index of Drawings, Legend of Architectural Materials and Symbols, and Standard Abbreviations

This Sheet - REPLACED

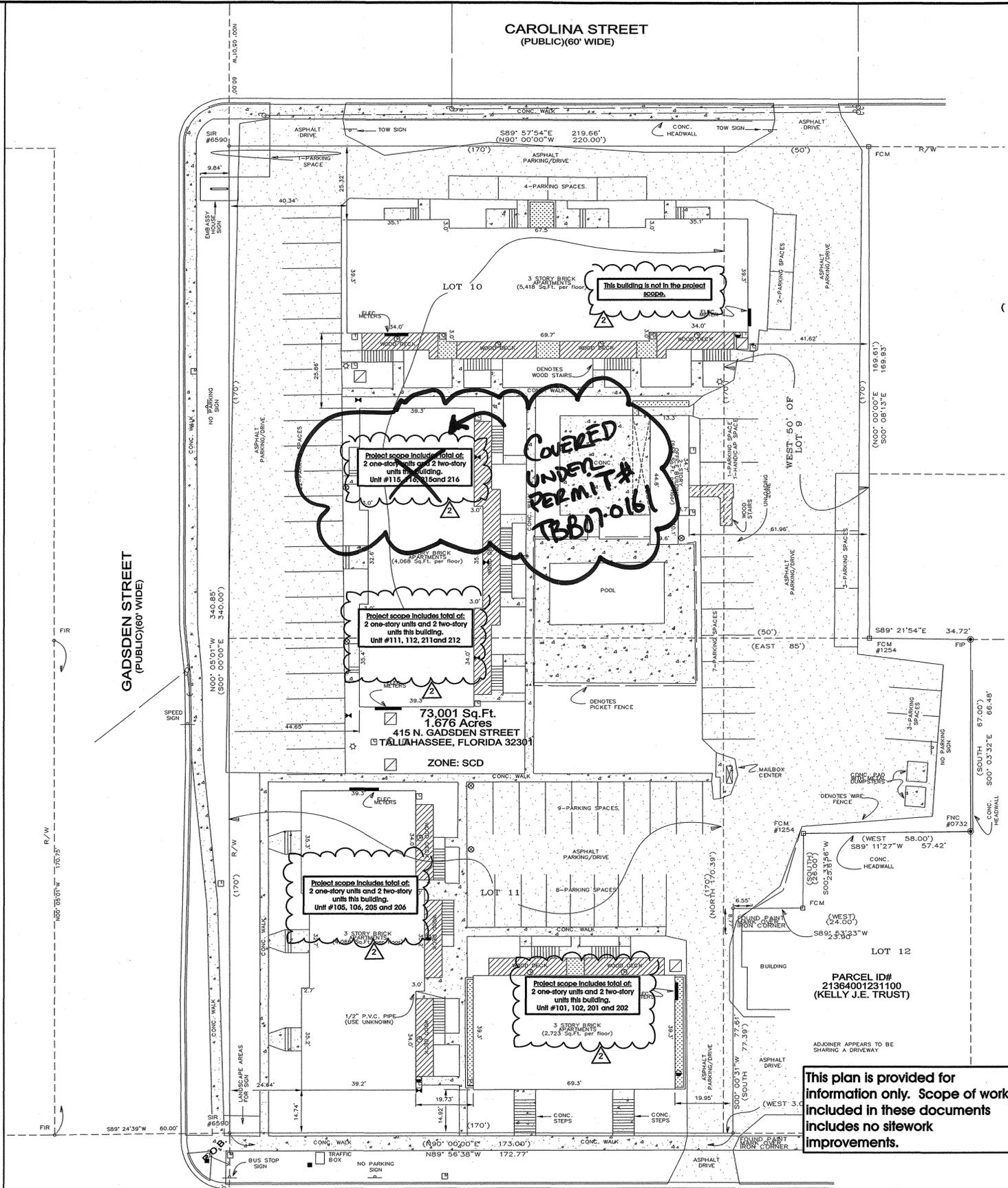
REVISI  
SHEET G1.0



CAROLINA STREET  
(PUBLIC)(60' WIDE)

GADSDEN STREET  
(PUBLIC)(60' WIDE)

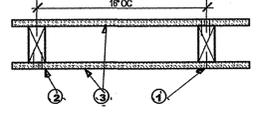
VIRGINIA STREET  
(PUBLIC)(60' WIDE)



1 Site Plan - Survey  
1" = 20'-0"

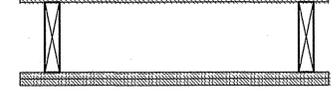
This plan is provided for information only. Scope of work included in these documents includes no sitework improvements.

Bearing Wall Rating - 1HR UL Design No. U305



- Nail heads, Exposed or covered with joint compound.
  - Joints, Exposed or covered with fiber tape and joint compound, except when required for specific edge configuration. For tapered, rounded-edge wallboard, joints covered with joint compound or fiber tape and joint compound. As an alternate to Classified veneer baseboard. Joints reinforced.
  - Gypsum Board, 5/8 in. thick wallboard paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Wall board nailed 7 in. OC with 6d cement coated nails 1 7/8 in. long, 0.075 in. shank diam and 1/4 in. diam heads. When used in widths of other than 48 in., wallboard to be braced horizontally. For an alternate method of attachment of gypsum boards, refer to Item 6, Wall and Partition Finishes and Accessories.
  - Steel Corner Fasteners (Optional) For use at wall corners. Channel shaped, 2 in. long by 1 in. high on the back side with two 1/8 in. wide cleats protruding into the 5/8 in. wide channel, fabricated from 24 ga. galv. steel. Fasteners applied only to the end or out edge (not along tapered edges) of wallboard, no greater than 2 in. from corner of wallboard, max spacing 16 in. OC. Nailed to adjacent stud through hole using one No. 6d cement coated nail per fastener. Corner of wall board shall be nailed to top and bottom plates using No. 6d cement coated nails.
  - Batts and Barriers (Optional) For use at wall corners. Channel shaped, 2 in. long by 1 in. high on the back side with two 1/8 in. wide cleats protruding into the 5/8 in. wide channel, fabricated from 24 ga. galv. steel. Fasteners applied only to the end or out edge (not along tapered edges) of wallboard, no greater than 2 in. from corner of wallboard, max spacing 16 in. OC. Nailed to adjacent stud through hole using one No. 6d cement coated nail per fastener. Corner of wall board shall be nailed to top and bottom plates using No. 6d cement coated nails.
  - Wall or Partition Finishes and Accessories (Optional, Not Shown) For use as an alternate to 6d nails described in Item 3. Wall board finished with 2 in. long 16 gauge staples spaced max. 3 in. OC along vertical joints and 6 in. OC in the field. When staples are used, wallboard joints covered with paper tape and joint compound. Staples covered with joint compound. Finish rating is 18 min.
- Note: All materials must bear UL Classification Marking

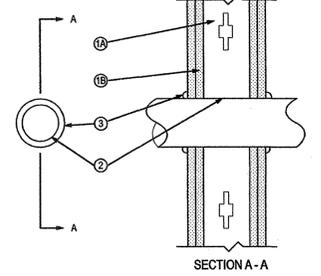
GA Assembly RC2601 - 1 Hour Ceiling Rating



BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2X6 WOOD JOIST 24" OC MAX WITH 1 1/2" TYPE W OR DRYWALL SCREWS 24" OC. FACE LAYER 5/8" TYPE X GYPSUM WALL BOARD OR GYPSUM BOARD APPLIED AT RIGHT ANGLES TO JOIST WITH 1 1/2" TYPE DRYWALL SCREWS 12" OC AT JOINTS AND INTERMEDIATE JOIST AND 1 1/2" TYPE G DR WALL SCREWS 12" OC PLACED 2" BACK ON EITHER SIDE OF JOIST. JOINTS OFFSET 2" FROM BASE LAYER JOINTS. WOOD JOIST SUPPORTING 12" WOOD WITH EXTERIOR GLEU APPLIED AT RIGHT ANGLES TO JOIST WITH 8D NAILS. APPROPRIATE ROOF COVERING. CEILING PROVIDES ONE HOUR FIRE RESISTANCE PROTECTION FOR WOOD FRAMING, INCLUDING TRUSSES.

SYSTEM NO. W-L-1166

F RATINGS - 1 AND 2 HR (SEE ITEM 1B)  
T RATINGS - 0/HR

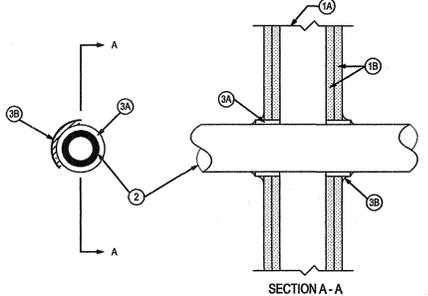


- WALL ASSEMBLY - THE 1 OR 2 HR FIRE-RATED GYPSUM WALL BOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER DESCRIBED IN THE INDIVIDUAL U300 OR U400 SERIES WALL AND PARTITION DESIGN IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:
  - STUDS - WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS OR STEEL CHANNEL STUDS. WOOD STUD TO CONSIST OF NOM 2 X 4 IN LUMBER SPACED 16 IN. O.C. STEEL STUDS TO BE MIN. 3-1/2 IN. WIDE AND SPACED MAX 24 IN. O.C.
  - WALLBOARD GYPSUM - THICKNESS, TYPE, NUMBER OF LAYERS, AND FASTENERS TYPE AS SPECIFIED IN THE INDIVIDUAL WALL AND PARTITION DESIGN. MAX DIAM OF OPENING IS 5 IN.
- THROUGH PENETRANTS - ONE METALLIC PIPE, CONDUIT OR TUBING INSTALLED EITHER CONCENTRICALLY OR ECCENTRICALLY WITHIN THE FIRE STOP SYSTEM. THE ANNULAR SPACE BETWEEN PIPE, CONDUIT OR TUBING AND PERIPHERY OF OPENING SHALL BE MIN. 0.1 IN. POINT CONTACT TO MAX 1/8 IN. PIPE, CONDUIT OR TUBING TO BE RIGIDLY SUPPORTED ON BOTH SIDERS OF WALL ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF METALLIC PIPES, CONDUITS, OR TUBING MAY BE USED:
  - COPPER TUBING - NOM 4 IN. DIAM (OR SMALLER) TYPE M (OR HEAVIER) COPPER TUBING.
  - COPPER PIPE - NOM 4 IN. DIAM. (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE
  - STEEL PIPE - NOM 4 IN. DIAM. (OR SMALLER) SCHEDULE 5 (OR HEAVIER) STEEL PIPE
  - CONDUIT - NOM 4 IN. DIAM. (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING OR RIGID STEEL CONDUIT
  - IRON PIPE - NOM 4 IN. DIAM (OR SMALLER) CAST OR DUCTILE IRON PIPE.
- FILL VOID, AND CAVITY MATERIALS - CAULK OR PUTTY - MIN. 1/2 IN. DIAMETER BEAD OF CAULK OR PUTTY APPLIED CONTINUOUSLY AROUND THE PENETRANT ON THE WALL SURFACES ON BOTH SIDERS OF THE WALL. MINNESOTA MINING & MFG. CO. - CP 25WB+ CAULK OR MPS-2+ PUTTY.

SYSTEM NO. W-L-2003

(FORMERLY KNOWN AS SYSTEM NO. 148)

F RATINGS - 1 AND 2 HR (SEE ITEM 3)  
T RATINGS - 1 AND 2 HR (SEE ITEM 3)  
L RATINGS AT AMBIENT - 7 CFMSQ FT (SEE ITEM 3B)  
L RATINGS AT 400 F - LESS THAN 1 CFMSQ FT (SEE ITEM 3B)



- WALL ASSEMBLY - THE 1 OR 2 HR FIRE-RATED GYPSUM WALL BOARD/STUD WALL ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER DESCRIBED IN THE INDIVIDUAL U300 OR U400 SERIES WALL OR PARTITION DESIGN IN THE UL FIRE RESISTANCE DIRECTORY AND SHALL INCLUDE THE FOLLOWING CONSTRUCTION FEATURES:
  - STUDS - WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS OR STEEL CHANNEL STUDS. WOOD STUD TO CONSIST OF NOM 2 X 4 IN LUMBER SPACED 16 IN. O.C. WITH NOM 2 X 4 IN. LUMBER END PLATES AND CROSS BRACES. STEEL STUDS TO BE MIN. 3-5/8 IN. WIDE BY 1-3/8 IN. DEEP CHANNELS SPACED MAX 24 IN. O.C.
  - WALLBOARD GYPSUM - 5/8 IN. THICK WITH SQUARE OR TAPERED EDGES. THE GYPSUM WALL BOARD TYPE, THICKNESS, NUMBER OF LAYERS, FASTENER TYPE AND SHEET ORIENTATION SHALL BE AS SPECIFIED IN THE INDIVIDUAL U300 OR U400 SERIES DESIGN IN THE UL FIRE RESISTANCE DIRECTORY. MAX DIAM OF OPENING IS 3-1/8 IN.

Fire Systems

See sheet A1.2 for Furn/Life Safety Plans and Code Summary Information

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PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:
CONCEPT SCHEMATIC DESIGN				1. COT Code Review Comments	RL	R. LEWIS	2/6/07
ADVANCED SCHEMATIC DESIGN				2. Revised permit documents	DC	R. LEWIS	7/24/07
DESIGN DEVELOPMENT				3.			
90% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/16/06	5.			
100% CONSTR. DOCUMENTS	PO/RL	R. LEWIS	12/20/06	6.			

Consultant:

Consultant:

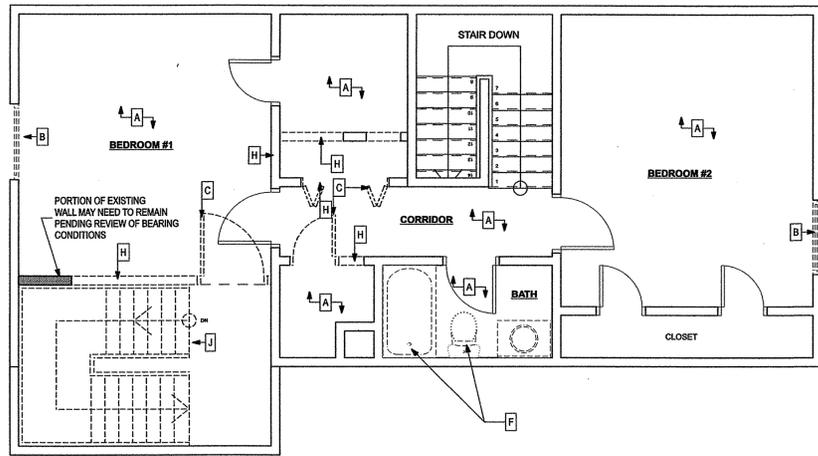
Seal:

architects  
lewis + whitlock  
501 east tennessee st., ste c  
tallahassee, fl. 32308  
phone: 942.1718 fax: 942.2110  
www.think3d.net

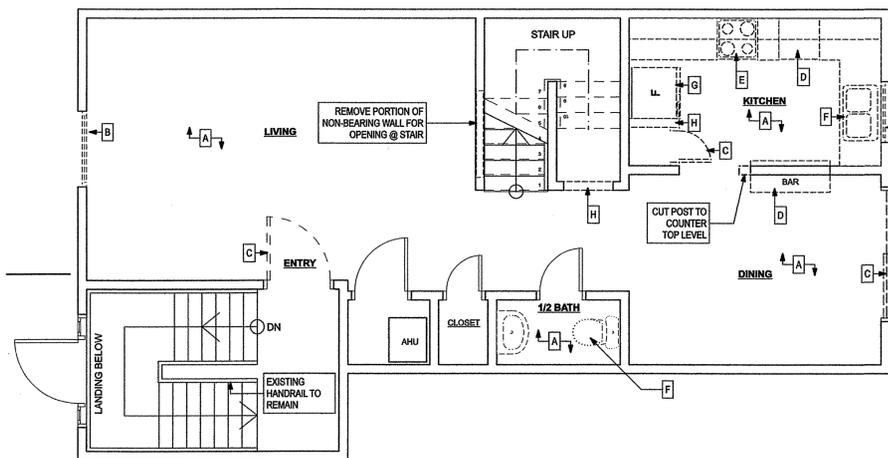
Description:  
Site Plan / Survey,  
and Fire Systems

This Sheet - REPLACED  
SEE REVISED SHEET  
TAG-1

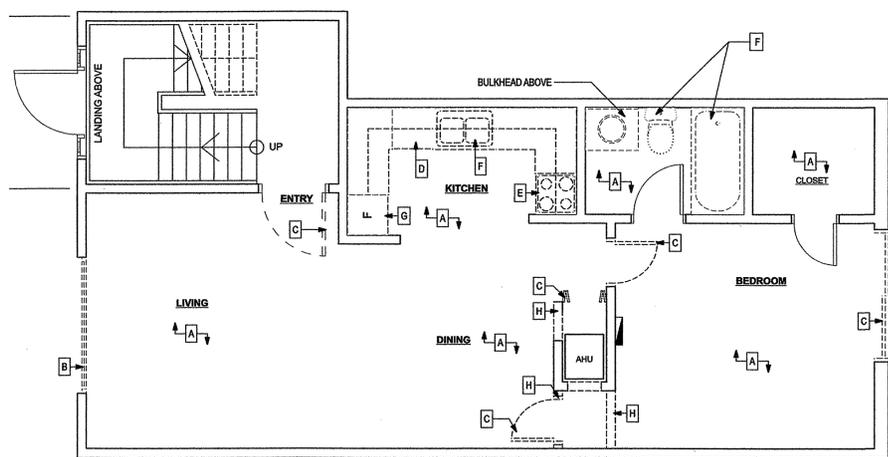
Embassy House, LLC  
Embassy House Apartments  
Tallahassee, FL  
Project #: 06132  
Phase: 100% Construction Documents



1 Demolition Plan - Second Floor - 2BR Unit  
1/4" = 1'-0"



2 Demolition Plan - First Floor - 2BR Unit  
1/4" = 1'-0"



3 Demolition Plan - 1BR Unit  
1/4" = 1'-0"

**DEMOLITION NOTES**  
(ALL DEMOLITION BY OWNER)

- A REMOVE EXISTING FINISH FLOORING AND ASSOCIATED MOULDINGS AND/OR PADDING.
- B REMOVE EXISTING ALUMINUM WINDOW.
- C REMOVE EXISTING DOOR UNIT AND ALL ASSOCIATED HARDWARE.
- D REMOVE EXISTING MILLWORK AND CABINERY.
- E REMOVE AND SALVAGE EXISTING STOVE.
- F REMOVE EXISTING PLUMBING FIXTURES.
- G REMOVE EXISTING REFRIGERATOR.
- H REMOVE EXISTING WALL AND ASSOCIATED FRAMING AS INDICATED ON PLAN. REMOVE WALL IN ACCORDANCE WITH SELECTIVE DEMOLITION NOTES. DO NOT REMOVE WALL FRAMING UNTIL BEARING CONDITION HAS BEEN IDENTIFIED.
- J REMOVE STAIR RAILINGS THIS FLOOR LEVEL STAIR TO REMAIN.

**CONSTRUCTION NOTES**

- 1 REPAIR EXISTING WALL AT AREA OF REMOVED WALL TO MATCH EXISTING ADJACENT SURFACES.
- 2 METAL EDGE REQUIRED AT ALL JOINTS BETWEEN DIFFERENT FLOORING MATERIAL.
- 3 NOT USED.
- 4 NEW VINYL COATED WIRE SHELF AND ROD.
- 5 REPAIR AND PATCH AT DEMOLISHED WALL/BULKHEAD INTERSECTION TO MATCH EXISTING ADJACENT SURFACE.
- 6 NOT USED.
- 7 NEW FLOORING THIS LOCATION. FRAMING TO BE 2x12 JOIST AT 16" O.C. W/ 3/4" T & G PLYWOOD GLED AND NAILED. BEARING CONDITION TO BE IDENTIFIED DURING SELECTIVE DEMOLITION.
- 8 NEW 2x4 FRAMED WALL OVER NEW FLOORING. WALL TO HAVE 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE AND CONSTRUCTED PER UL305 SYSTEM. BEARING CONDITION TO BE IDENTIFIED DURING SELECTIVE DEMOLITION.
- 9 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD CEILING OVER NEW FRAMING - RC 2801 1 HR PROTECTED THIS AREA.
- 10 16" DEEP WIRE SHELVING - 3 SHELVES TOTAL.
- 11 NEW ALUMINUM WINDOW IN EXISTING OPENING.
- 12 NOT USED.
- 13 NEW ENTRY DOORS AND SIDE LITES SHALL BE VINYL CLAD FRAMES W/ COMPOSITE PROFILED DOOR PANELS AS BASE BID.
- 14 PROVIDE PT 2X FRAMING WITH 5/8" PLYWOOD SHEATHING AND AIR INFILTRATION BARRIER AT EACH SIDE OF LARGER DOOR OPENINGS IN ORDER TO MAKE ALL DOOR OPENINGS SIMILAR IN WIDTH.
- 15 LOCATION OF EXTERIOR STUCCO - SEE EXTERIOR ELEVATIONS.

**FINISH SCHEDULE**

ROOM NAME	FLOOR	BASE				WALLS				CEILING		REMARKS	
		FINISH	NOTES	FINISH	NOTES	NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT		
<b>1BR UNIT</b>													
ENTRY	WLAM 01	1	PT02	PT02	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	4
LIVING ROOM	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	4
KITCHEN	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
DINING ROOM	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	4
BEDROOM	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
CLOSET	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
BATH	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
<b>2BR UNIT</b>													
ENTRY	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
LIVING ROOM	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	4
1/2 BATH	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
DINING ROOM	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
KITCHEN	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
CORRIDOR	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
BATH 1	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
BATH 2	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
BEDROOM 1	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
BEDROOM 2	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
LAUNDRY	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3
PANTRY	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	VARIES	3
ENTRY	CPT02	1	PT02	2	PT01	1	PT01	1	PT01	1	GWB PT03	8'-0"	3

**ROOM FINISH SCHEDULE LEGEND**

CPT	CARPET
GWB	GYPSUM WALL BOARD
PT	PAINT
VYL	VINYL
WD	WOOD BASE
PLAM	WOOD LAMINATE FLR
CT	CERAMIC TILE

- NOTES:**
1. ALL FINISHES ARE TYPICAL OF EACH UNIT UNLESS SPECIFICALLY NOTED OTHERWISE.
  2. ALL WALL BASE SHALL BE WOOD UNLESS SPECIFICALLY NOTED OTHERWISE.
  3. ALL CEILING ARE EXISTING - UNLESS SPECIFICALLY NOTED OTHERWISE.
  4. PROVIDE CROWN MOULDING AT CEILING.
  5. UNDERSIDE OF METAL STAIRCASE - CEILING WHITE.
  6. DOOR AND TRIM TO BE TOQUE WHITE.
  7. ALL WALLS & CEILING TO RECEIVE KNOCK-DOWN FINISH.

**INTERIOR FINISHES LEGEND**

- Flooring**
- WLAM01 - Wood Laminate, Lumber Liquidators - Bolivian Teak
  - CPT01 - Rage Coronet BAMBOO 28 07
  - CT01 - Ceramic Tile, Grout - Mapei Ivory - Santa Cruz Beige 12x12
  - CPT02 - Carpet Shaw Insideout - 54224 Water Polo - 24300 Grass
- Wall/Ceiling Finishes**
- PT01 - Paint (Field), Sherwin Williams - SW7052 Gray Area
  - PT02 - Paint (Trim), Sherwin Williams - SW7003 Toque White
  - PT03 - Paint (Ceiling), Sherwin Williams - Ceiling White
  - PT04 - Paint (Accent), Sherwin Williams - SW6186 Dried Thyme
  - PT05 - Paint (Satin), Sherwin Williams - SW7051 Analytical Gray
- Millwork/Countertops**
- PL01 - Cabinets - MidAmerica Sierra, Red Oak Wood - Fruitwood Stain (or darker)
  - PL02 - Counters - Granite - Black (UBA-TUBA), 2 cm., Square Edge w/ Drop-In Sinks
- Doors**
- 6 - Panel - Smooth Texture Painted SW7003 Toque White, Painted Hinges
  - Bi-folds are Louvered, Painted SW7003 Toque White, Painted Hinges
- Trim**
- Base, 3 1/4" COLONIAL
  - Door Trim, COLONIAL
- Handrail (Interior)**
- PT10 - (Semi-Gloss), Sherwin Williams - SW6186

**GENERAL DEMOLITION NOTES**

1. CONTRACTOR SHALL NOT REMOVE ITEMS NOT INDICATED TO BE REMOVED ON THESE DOCUMENTS.
2. REMOVE FLOOR COVERINGS AS REQUIRED TO INSTALL NEW FLOOR COVERINGS. REFER TO ROOM FINISH SCHEDULE FOR SCHEDULE OF SPACES TO RECEIVE NEW FLOOR COVERING.
3. REMOVE ALL SALVAGEABLE ITEMS PRIOR TO BEGINNING OF DEMOLITION WORK.
4. MAINTAIN WEATHER TIGHTNESS OF BUILDING AT ALL TIMES.
5. SEE SELECTIVE DEMOLITION SPECIFICATIONS AND NOTES - SHEET A1.2.

**DRAWING LEGEND**

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION - 1/2" GYPSUM BOARD OVER 2X4 FRAMING U.O.N.
- CONSTRUCTION TO BE REMOVED

**GENERAL NOTES**

1. ALL NEW FRAMING TO BE 2 x 4 STUDS AT 16" O.C.
2. CLEAN AND PREP ALL NEW AND EXISTING AREAS WITHIN SCOPE OF WORK TO RECEIVE NEW FINISHES.
3. PATCH AND REPAIR PARTITIONS AT AREAS OF DEMOLITION TO MATCH EX ADJACENT SURFACES.
4. DIMENSIONS INDICATED FOR EX. CONSTRUCTION ARE ACCURATE TO 1/4".

**BUILDING INFORMATION**

**BUILDINGS OCCUPANCY:** Total of 4 With-in scope  
Residential - R2

**CONSTRUCTION CLASSIFICATION:**  
Un-sprinklered - 1BR Flat / 2 Story 2BR Unit  
3-Story Overall w/ mid-laning entry  
1-Hour Separation (Existing)

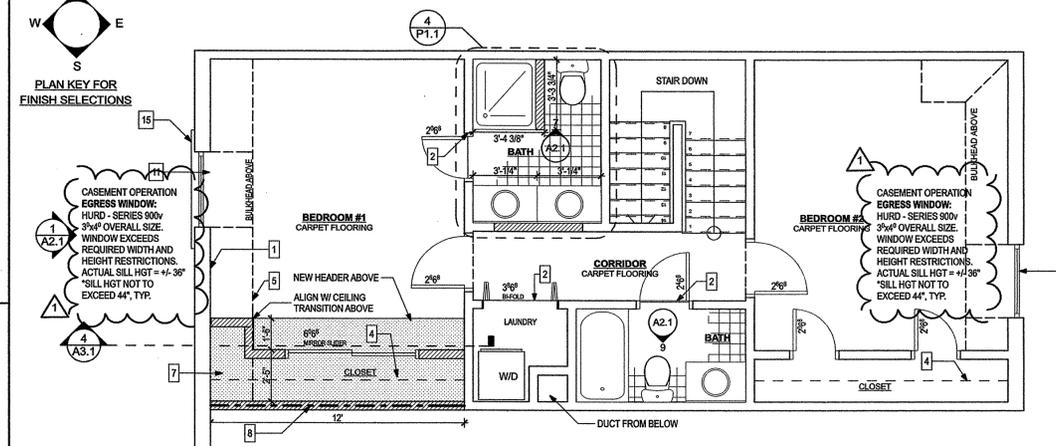
**BUILDING AREA (Typical Units):**  
Conditioned:  
Ground Flr. - 1BR Unit 600 sf  
Second Flr. - 2BR Unit 611 sf  
Third Flr. - (Upper 2BR) 660 sf  
total for 2BR = 1,271 sf

NO ADDITIONAL BUILDING AREA IS ADDED BY THIS PROJECT, HOWEVER HEATED SQUARE FEET IS INCREASED BY 49 SF ON THE THIRD LEVEL DUE TO STAIR REMOVAL.

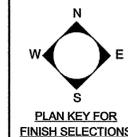
INTERIOR FINISHES SHALL BE CLASS A OR B FOR VERTICAL EXITS, OR EXIT ACCESS CORRIDORS AND CLASS A, B OR C FOR ALL OTHER SPACES.



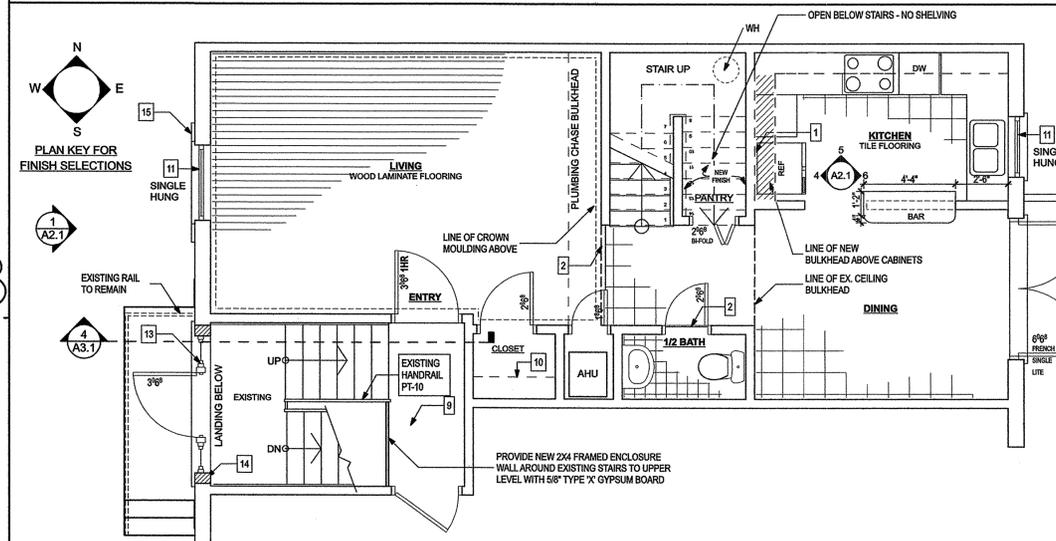
PLAN KEY FOR FINISH SELECTIONS



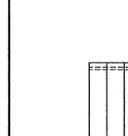
4 Architectural Floor Plan - 2nd Floor - 2 BR Unit  
1/4" = 1'-0"



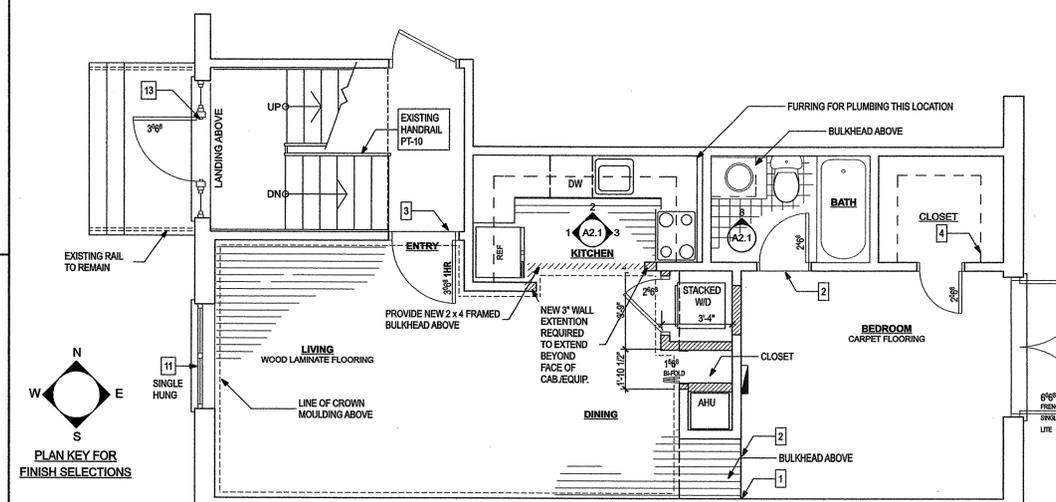
PLAN KEY FOR FINISH SELECTIONS



5 Architectural Floor Plan - 1st Floor - 2BR Unit  
1/4" = 1'-0"



PLAN KEY FOR FINISH SELECTIONS



6 Architectural Floor Plan - 1 BR Unit  
1/4" = 1'-0"

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CONCEPT SCHEMATIC DESIGN				1. COT Code Review Comments	RL	R. LEWIS	2/6/07
ADVANCED SCHEMATIC DESIGN				2. Re-Issued Set	ET	R. Lewis	8/7/07
DESIGN DEVELOPMENT				3.			
90% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/16/06	5.			
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Consultant:

Consultant:

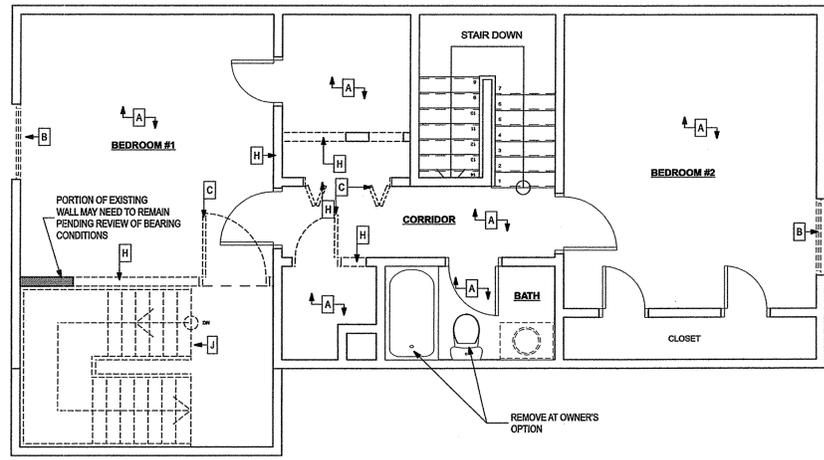
Seal:

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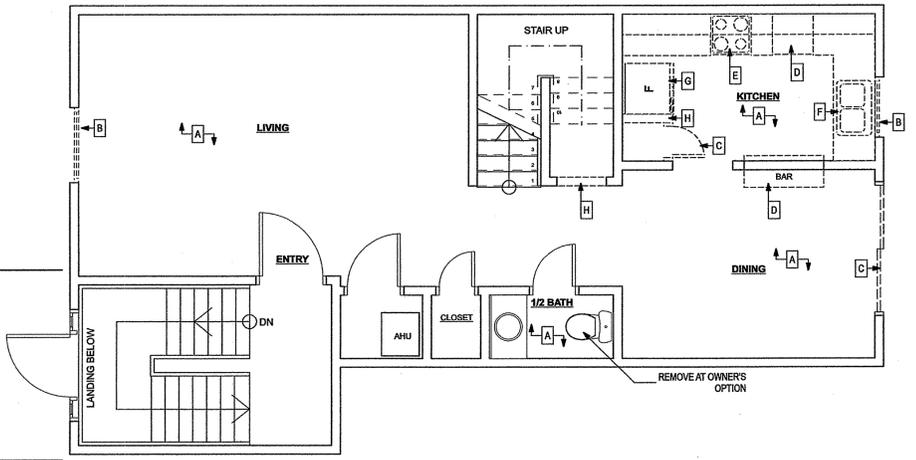
501 east tennessee st., ste c  
tallahassee, fl. 32308  
phone: 942.1718 fax: 942.2110  
www.think3d.net

Description:  
Demolition Plans and Notes,  
Architectural Plans and  
Construction Notes, General  
Notes and Finish Schedule

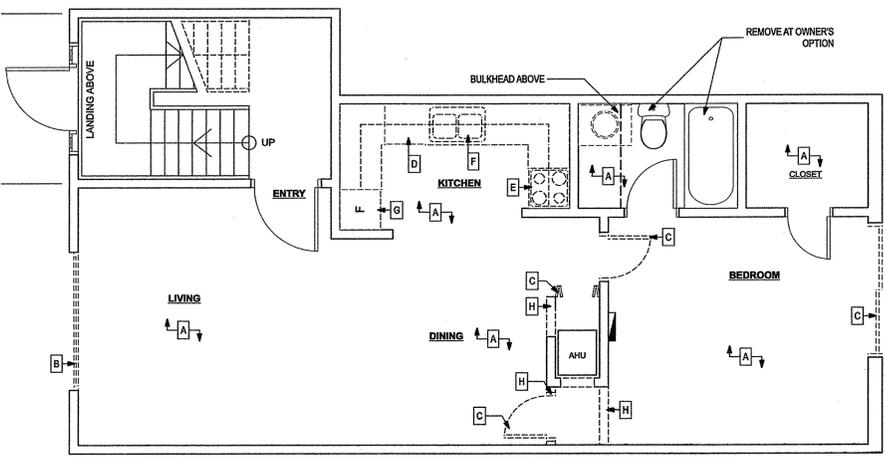
Sheet No.:  
A1.1



1 Demolition Plan - Second Floor - 2BR Unit  
1/4" = 1'-0"



2 Demolition Plan - First Floor - 2BR Unit  
1/4" = 1'-0"



3 Demolition Plan - 1BR Unit  
1/4" = 1'-0"

**DEMOLITION NOTES**

- A) REMOVE EXISTING FINISH FLOORING AND ASSOCIATED MOULDINGS AND/OR PADDING.
- B) REMOVE EXISTING ALUMINUM WINDOW.
- C) REMOVE EXISTING DOOR UNIT AND ALL ASSOCIATED HARDWARE.
- D) REMOVE EXISTING MILLWORK AND CABINETRY.
- E) REMOVE AND SALVAGE EXISTING STOVE (PER OWNER'S INSTRUCTIONS).
- F) REMOVE AND SALVAGE EXISTING SINK (PER OWNER'S INSTRUCTIONS).
- G) REMOVE AND SALVAGE EXISTING REFRIGERATOR (PER OWNER'S INSTRUCTIONS).
- H) REMOVE EXISTING WALL AND ASSOCIATED FRAMING AS INDICATED ON PLAN. REMOVE WALL IN ACCORDANCE WITH SELECTIVE DEMOLITION NOTES. DO NOT REMOVE WALL FRAMING UNTIL BEARING CONDITION HAS BEEN IDENTIFIED.
- I) REMOVE STAIR RAILINGS AND LANDINGS (ONLY IF REQUIRED) THIS FLOOR LEVEL ONCE BEARING CONDITION HAS BEEN IDENTIFIED.

**CONSTRUCTION NOTES**

- 1 REPAIR EXISTING WALL AT AREA OF REMOVED WALL TO MATCH EXISTING ADJACENT SURFACES.
- 2 METAL EDGE REQUIRED AT ALL JOINTS BETWEEN CARPET AND VINYL.
- 3 MARBLE TRANSITION
- 4 NEW VINYL COATED WIRE SHELF AND ROD
- 5 REPAIR AND PATCH AT DEMOLISHED WALL/BULKHEAD INTERSECTION TO MATCH EXISTING ADJACENT SURFACE
- 6 WOOD TRANSITION
- 7 NEW FLOORING THIS LOCATION. FRAMING TO BE 2 x 12 JOIST AT 16" O.C. W/ 3/4" T & G PLYWOOD GLEED AND WALLED, BEARING CONDITION TO BE IDENTIFIED DURING SELECTIVE DEMOLITION
- 8 NEW 2 x 4 FRAMED WALL OVER NEW FLOORING. WALL TO HAVE 5/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE AND CONSTRUCTED PER UL SYSTEM. BEARING CONDITION TO BE IDENTIFIED DURING SELECTIVE DEMOLITION.
- 9 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD CEILING OVER NEW FRAMING - RC 2601 1 HR PROTECTED THIS AREA
- 10 1" DEEP WIRE SHELVING - 3 SHELVES TOTAL
- 11 NEW ALUMINUM WINDOW IN EXISTING OPENING
- 12 NEW 6"x6"x16" CONCRETE MASONRY UNIT WALLS WITH STUCCO FINISH - SEE ELEVATIONS AND WALL SECTION FOR ADDITIONAL INFORMATION. WALLS ARE TO BE PLACED ON EXISTING CONCRETE ENTRY SLABS WHERE POSSIBLE. WHEN NOT POSSIBLE LOCATION SHALL BE VERIFIED WITH OWNER AND A 3000 PSI CONCRETE FOOTING 1'-0" WIDE AND 8" DEEP WITH 2 #5 REBAR SHALL BE INSTALLED OVER CLEAN COMPACTED FILL.
- 13 NEW ENTRY DOORS AND SIDE LITES SHALL BE VINYL CLAD FRAMES W/ COMPOSITE PROFILED DOOR PANELS AS BASE BID. CONTRACTOR SHALL PROVIDE ALTERNATE PRICE FOR ALUMINUM STOREFRONT ENTRY DOORS AND SIDE LITES.
- 14 PROVIDE PT 2X FRAMING WITH 5/8" PLYWOOD SHEATHING AND AIR INFILTRATION BARRIER AT EACH SIDE OF LARGER DOOR OPENINGS IN ORDER TO MAKE ALL DOOR OPENINGS SIMILAR IN WIDTH.
- 15 LOCATION OF EXTERIOR STUCCO - SEE EXTERIOR ELEVATIONS

**FINISH SCHEDULE**

ROOM NAME	FLOOR		WALLS						CEILING		REMARKS				
	FINISH	NOTES	NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	NOTES						
<b>1BR UNIT</b>															
ENTRY	WLAM 01	1	PT02	PT02	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	4
LIVING ROOM	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD4	1	GWB/PT03	8'-0"	4
KITCHEN	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
DINING ROOM	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	4
BEDROOM	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
CLOSET	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
BATH	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
<b>2BR UNIT</b>															
ENTRY	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
LIVING ROOM	WLAM 01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	4
1/2 BATH	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
DINING ROOM	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
KITCHEN	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
CORRIDOR	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
BATH 1	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
BATH 2	CT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
BEDROOM 1	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3
BEDROOM 2	CPT01	1	PT02	2	PT01	1	PT01	1	PT01	1	PTD1	1	GWB/PT03	8'-0"	3

**ROOM FINISH SCHEDULE LEGEND**

CPT	CARPET
GWB	GYPSUM WALL BOARD
PT	PAINT
VYL	VINYL
WD	WOOD BASE
FLAM	WOOD LAMINATE FLR
CT	CERAMIC TILE

- NOTES:**
1. ALL FINISHES ARE TYPICAL OF EACH UNIT UNLESS SPECIFICALLY NOTED OTHERWISE.
  2. ALL WALL BASE SHALL BE WOOD UNLESS SPECIFICALLY NOTED OTHERWISE.
  3. ALL CEILINGS ARE EXISTING - UNLESS SPECIFICALLY NOTED OTHERWISE.
  4. PROVIDE CROWN MOLDING AT CEILING

**INTERIOR FINISHES LEGEND**

- Flooring**
- WLAM01 - Wood Laminates, Lumber Liquidators - Bolivian Teak
  - CPT01 - Carpet, Shaw Nobility - 00113 Oyster
  - CT01 - Ceramic Tile, 14 x 14 Expedition Kenya
- Wall/Ceiling Finishes**
- PT01 - Paint (Field), Sherwin Williams - SW7052 Gray Area
  - PT02 - Paint (Trim), Sherwin Williams - SW7003 Toque White
  - PT03 - Paint (Ceiling), Sherwin Williams - Ceiling White
  - PT04 - Paint (Accent), Sherwin Williams - SW6186 Dried Thyme
- Millwork/Countertops**
- PL01 - Revised to Wood Veneer, Stain to be Chosen by Owner
  - PL02 - Revised to Black Granite
  - SS01 - Revised to Black Granite

**GENERAL DEMOLITION NOTES**

1. CONTRACTOR SHALL COORDINATE LOCATION OF STORED MATERIALS WITH OWNER AND TEMPORARY STAGING LOCATION FOR ITEMS TO BE SALVAGED.
2. CONTRACTOR SHALL NOT REMOVE ITEMS NOT INDICATED TO BE REMOVED ON THESE DOCUMENTS.
3. REMOVE FLOOR COVERINGS AS REQUIRED TO INSTALL NEW FLOOR COVERINGS. REFER TO ROOM FINISH SCHEDULE FOR SCHEDULE OF SPACES TO RECEIVE NEW FLOOR COVERING.
4. REMOVE ALL SALVAGEABLE ITEMS PRIOR TO BEGINNING OF DEMOLITION WORK.
5. MAINTAIN WEATHER TIGHTNESS OF BUILDING AT ALL TIMES.
6. COORDINATE WITH ARCHITECTURAL FLOOR PLAN TO LOCATE EXACT AREAS OF DEMOLITION REQUIRED.
7. SEE SELECTIVE DEMOLITION SPECIFICATIONS AND NOTES - SHEET A1.2.

**DRAWING LEGEND**

- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- NEW PARTITION - 1/2" GYPSUM BOARD OVER 2X4 FRAMING U.O.N.
- CONSTRUCTION TO BE REMOVED

**GENERAL NOTES**

1. ALL NEW FRAMING TO BE 2 x 4 STUDS AT 16" O.C.
2. CLEAN AND PREP ALL NEW AND EXISTING AREAS WITHIN SCOPE OF WORK TO RECEIVE NEW FINISHES
3. PATCH AND REPAIR PARTITIONS AT AREAS OF DEMOLITION TO MATCH EX. ADJACENT SURFACES.
4. DIMENSIONS INDICATED FOR EX. CONSTRUCTION ARE ACCURATE TO +/- 1".
- 5.

**BUILDING INFORMATION**

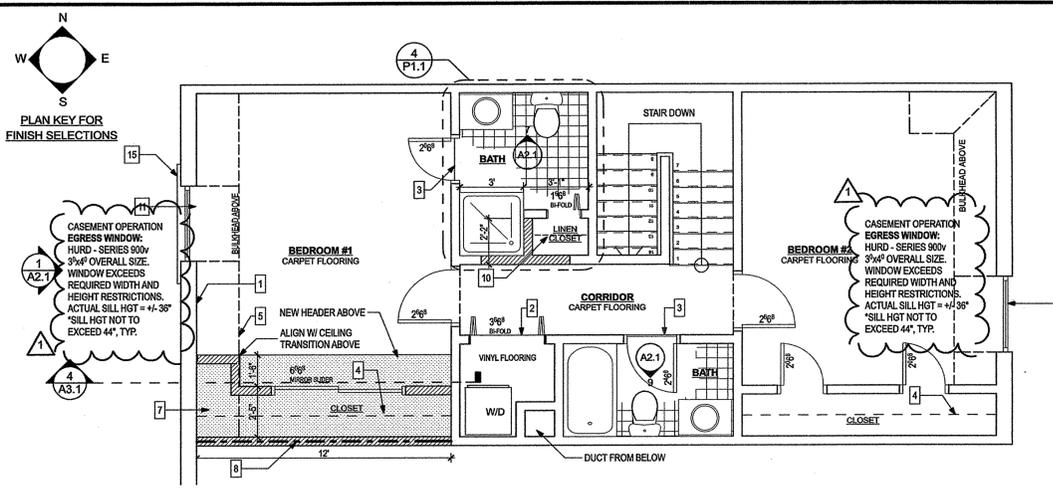
**BUILDINGS OCCUPANCY:** Residential - R2  
**Total of 4 With-in scope**

**CONSTRUCTION CLASSIFICATION:**  
 Un-sprinklered - 1BR Flat / 2 Story 2BR Unit  
 3-Story Overall w/ mid-landing entry  
 1-Hour Separation (Existing)

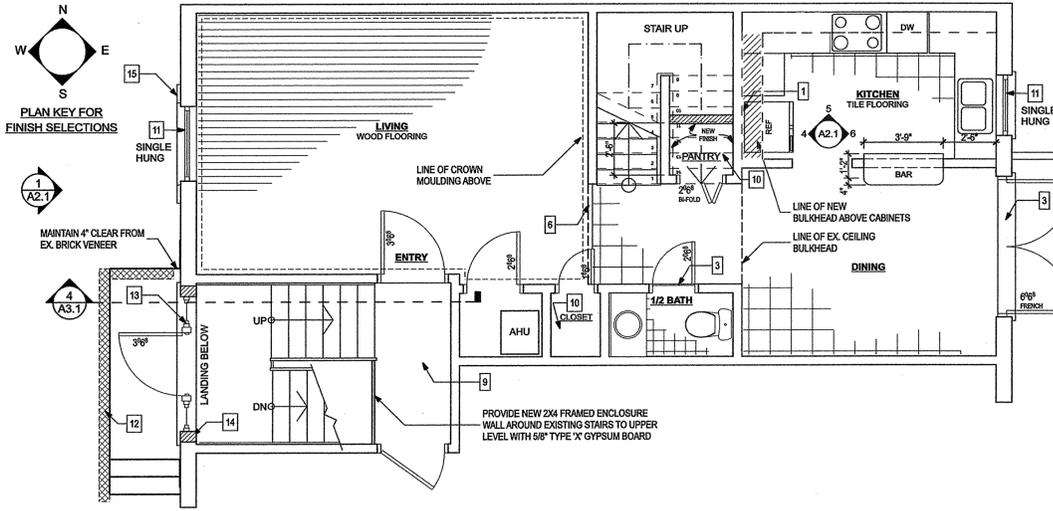
**BUILDING AREA (Typical Units):**  
 Conditioned:  
 Ground Flr. - 1BR Unit 600 sf  
 Second Flr. - 2BR Unit 611 sf  
 Third Flr. - (Upper 2BR) 660 sf  
**total for 2BR = 1,271 sf**

NO ADDITIONAL BUILDING AREA IS ADDED BY THIS PROJECT, HOWEVER HEATED SQUARE FEET IS INCREASED BY 49 SF ON THE THIRD LEVEL DUE TO STAIR REMOVAL.

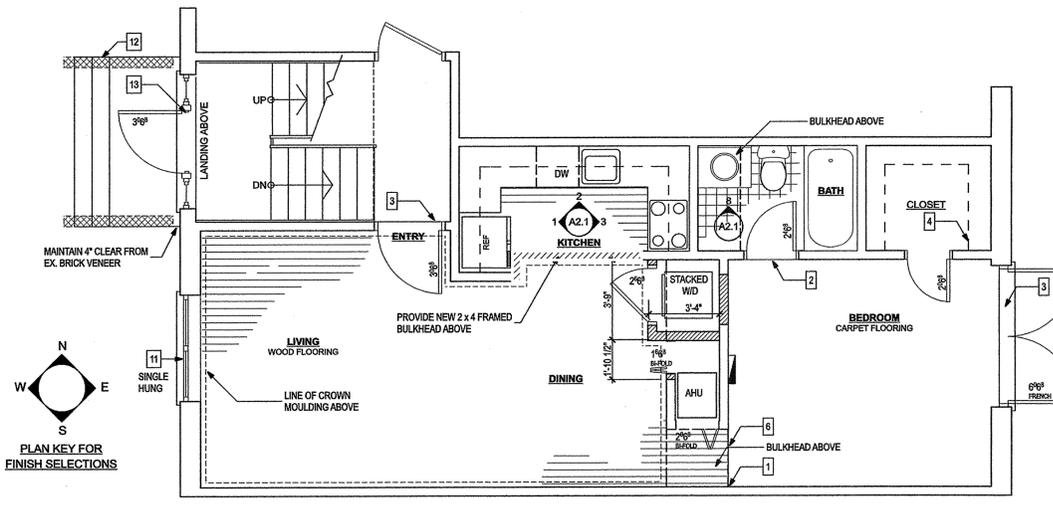
INTERIOR FINISHES SHALL BE CLASS A OR B FOR VERTICAL EXITS, OR EXIT ACCESS CORRIDORS AND CLASS A, B OR C FOR ALL OTHER SPACES.



4 Architectural Floor Plan - 2nd Floor - 2 BR Unit  
1/4" = 1'-0"



5 Architectural Floor Plan - 1st Floor - 2BR Unit  
1/4" = 1'-0"



6 Architectural Floor Plan - 1 BR Unit  
1/4" = 1'-0"

8/1/2007  
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90% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/16/08	5.			
100% CONSTR. DOCUMENTS	PO/RL	R. LEWIS	12/20/08	6.			

Consultant:

Consultant: *Handwritten signature*  
 AUG 02 2007

Seal: *Handwritten signature*

**architects lewis + whitlock**  
 501 east tennessee st., ste c  
 tallahassee, fl. 32308  
 phone: 942.1718 fax: 942.2110  
 www.think3d.net

Description: Demolition Plans and Notes, Architectural Plans and Construction Notes, General Notes and Finish Schedule

This Sheet - REPLACED  
 SEE REVISED SHEET

PRODUCT APPROVAL SPECIFICATION SHEET

Location: Tallahassee, Florida

Project Name: Embassy House Apartments

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging	Ceco	Regent	2178.3
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
<b>B. WINDOWS</b>			
1. Single hung	Capital	165	5439.1
2. Horizontal Slider			
3. Casement	Hurd	900V	5485.2
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
<b>C. PANEL WALL</b>			
1. Siding			
2. Soffits	Royal Technologies	Royal Crest Vinyl Soffit	5881.19
3. EIFS	Dryvit	Outsulation Plus	2030.3
4. Storefronts			
5. Curtain walls			
6. Wall Louver			
7. Glass block			
8. Membrane	Tyvek Comm. wrap	Air infiltration & moisture protection	2145.1
9. Greenhouse			
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles	Tamko	Elite Glass Seal AR	1956.1
2. Roofing Fasteners			
3. Non-structural Metal Rf			
4. Built-Up Roofing			
5. Modified Bitumen			
6. Single Ply Roofing Sys			
7. Roofing Tiles			
8. Roofing Insulation			
9. Waterproofing			
10. Wood shingles /shakes			
11. Roofing Slate			
12. Liquid Applied Roof Sys			
13. Cement-Adhesives - Coatings			
14. Roof Tile Adhesive			
15. Spray Applied Polyurethane Roof			
16. Other			
<b>E. SHUTTERS - N/A</b>			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
<b>F. SKYLIGHTS - N/A</b>			
1. Skylight			
2. Other			
<b>G. STRUCTURAL COMPONENTS</b>			
<b>1. Wood connector/anchor</b>			
	Simpson	Connector # CS18	1901.5
	Simpson	Connector # SPH4	538.34
	Simpson	Connector # H10	474.109
	Simpson	Connector # SP4	474.386
	Simpson	Connector # HGA-10	1423.8
	Simpson	Connector # LST20	474.262
	Simpson	Connector # LST149	474.251
	Simpson	Connector # SPH6	538.35
<b>2. Truss plates</b>			
	Truswal	Laminated Veneer Lumber	FL 1612
			2850 lb-1.9E FL
			1511.6
			2950lb-2.0E FL
			1511.9
<b>3. Engineered lumber</b>			
	LVL	Laminated Veneer Lumber	2640.1
<b>4. Railing</b>			
	AGR Railings	Aluminum railing systems	2640.1
<b>5. Coolers-freezers</b>			
<b>6. Concrete Admixtures</b>			
<b>7. Material</b>			
<b>10. Deck-Roof</b>			
<b>11. Wall</b>			
<b>12. Sheds</b>			
<b>13. Other</b>			
<b>H. NEW EXTERIOR ENVELOPE PRODUCTS-N/A</b>			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Selective Demolition

- Definitions
  - Remove: Remove and legally dispose of items except those indicated to be reinstalled, salvaged, or to remain the Owner's property.
  - Remove and Salvage: Items indicated to be removed and salvaged remain the Owner's property. Remove, clean and pack or crate items to protect against damage. Identify contents of containers and deliver to Owner's designated storage area.
  - Remove and Reinstall: Remove items indicated; clean, service, and otherwise prepare them for reuse; store and protect against damage. Reinstall items in the same locations or in locations indicated.
  - Existing to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by the Architect, items may be removed to a suitable, protected storage location during selective demolition and then cleaned and reinstalled in their original locations.
- Project Conditions
  - Owner may occupy portions of the building during selective demolition. Conduct selective demolition so that Owner's operations will not be disrupted. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations. Owner assumes no responsibility for actual condition of building to be selectively demolished.
  - Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
  - Asbestos: If any materials suspected of containing asbestos are encountered, do not disturb the materials. Immediately notify the Architect and the Owner.
    - Asbestos to be removed by Owner before start of work.
  - Storage or sale of removed items or materials on-site will not be permitted unless granted by permission of the Owner.
- Execution
  - Owner existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
  - Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged.
  - When unanticipated mechanical, electrical, or structural elements that conflict with the intended function or design are encountered, investigate and measure the nature and extent of the conflict. Promptly submit a written report to the Architect. Survey the condition of the building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during selective demolition.
  - Perform surveys as the work progresses to detect hazards resulting from selective demolition activities.
- Utility Services
  - Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
    - Do not interrupt existing utilities serving occupied or operating facilities, except when authorized in writing by Owner and authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to Owner and to governing authorities.
  - Utility Requirements: Locate, identify, disconnect, and seal or cap off indicated utility services serving building to be selectively demolished.
    - Owner will arrange to shut off indicated utilities when requested by Contractor.
    - Arrange to shut off indicated utilities with utility companies.
    - Where utility services are required to be removed, relocated, or abandoned, provide bypass connections to maintain continuity of service to other parts of the building before proceeding with selective demolition.
    - Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal the remaining portion of pipe or conduit after bypassing.

Fair Housing Accessibility	Required	Provided
Dwelling units covered by the Design Requirements: The design requirements apply to buildings built for first occupancy after March 13, 1991, which fall under the definition of 'covered multifamily dwelling' are: means buildings consisting of four or more dwelling units if such buildings have one or more elevators; and ground floor dwelling units in other buildings consisting of four or more dwelling units.	N/A	N/A
All units of this project are existing and built prior to 1991. The existing buildings are remaining and the number of units will remain the same in each bldg.	N/A	N/A

GENERAL STRUCTURAL NOTES

- ALL REINFORCING STEEL SHALL BE GRADE 60 DEFORMED STEEL BARS.
  - ANCHOR BOLTS SHALL BE 1/2" DIA. BY 6" LONG AND SHALL BE PRESET IN CONCRETE BEFORE PLACEMENT. SET ANCHOR BOLTS AT THE INDICATED SPACING. AT DISCONTINUOUS POINTS ON THE SILL PLATE, SET ANCHORS AT 6" FROM CORNER, BOTH WAYS.
  - ALL WOOD FRAMING INCLUDING TRUSSES SHALL BE DESIGNED, DETAILED AND FABRICATED IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
  - PROVIDE GALVANIZED METAL HANGERS AND FRAMING ANCHORS OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER FOR EACH USE INCLUDING RECOMMENDED AND/OR BOLTING.
  - PROVIDE FRAMING MEMBERS OF SIZES AND ON SPACING SHOWN, OR IF NOT SHOWN, COMPLY WITH RECOMMENDATION OF MANUAL FOR HOUSE FRAMING OF NATIONAL PRODUCTS ASSOCIATION. DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS.
  - ANCHOR AND NAILING AS SHOWN AND TO COMPLY WITH RECOMMENDED NAILING SCHEDULE OF MANUAL FOR HOUSE FRAMING AND IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FASTENING SCHEDULE TABLE 1705.1.
  - ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL EMPLOY SKILLED PERSON FOR LAYOUT OF FOUNDATION.
  - COORDINATE BETWEEN ARCHITECTURAL DRAWINGS AND STRUCTURAL DRAWINGS AND INCORPORATE ALL REQUIRED DETAILS FROM BOTH COMPONENTS.
  - ALL REINFORCING STEEL, WIRE MESH AND CONCRETE ACCESSORIES SHALL BE PLACED IN ACCORDANCE WITH THE MANUAL OF PRACTICE OF THE CONCRETE AND REINFORCING STEEL INSTITUTE.
  - DESIGN FLOOR LIVE LOADING IS 40 POUNDS PER SQUARE FOOT, MINIMUM.
  - DESIGN WIND SPEED FOR TRANSFER OF WIND FORCES TO THE STRUCTURE IS 110 MPH.
  - WIND ANALYSIS IS TAKEN FROM CHAPTER 16 OF THE 2004 FBC-B, WITH ALL LATESTS REVISIONS.
  - COMPLY WITH ALL APPLICABLE REQUIREMENTS OF:
    - THE MANUAL OF PRACTICE OF THE CONCRETE AND REINFORCING STEEL INSTITUTE.
    - AMERICAN CONCRETE INSTITUTE, ACI 318-LATEST, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
    - "FLORIDA BUILDING CODE, 2004 EDITION" WITH ALL LATESTS REVISIONS. ALL ADJUNCT CODES AND REFERENCES APPLICABLE TO THIS WORK FOUND IN THE 2004 FLORIDA BUILDING CODE.
  - PLACE CONCRETE WHEN AIR TEMPERATURE IS BETWEEN 50 DEGREES (F) AND 88 DEGREES (F). PLACE WITH A SLUMP BETWEEN 3" AND 6". USE EXPANSION AND SHRINKAGE CONTROL AS INDICATED ON THE PLANS.
  - COMPONENTS AND CLADDING PRESSURE, MAXIMUM VALUES CHOSEN
    - ROOF - ZONE 1 +12.5, -19.9 PSF
    - ROOF - ZONE 2 +12.5, -42.1 PSF
    - ROOF - ZONE 3 +12.5, -42.1 PSF
    - WALL - ZONE 4 +21.8, -23.6 PSF
    - WALL - ZONE 5 +21.8, -23.1 PSF
    - OVERHANG - ZONE 2 +6.8 PSF
    - OVERHANG - ZONE 3 -88.3 PSF
- ADJUSTMENT FACTOR: 1.00

DESIGN LOADS

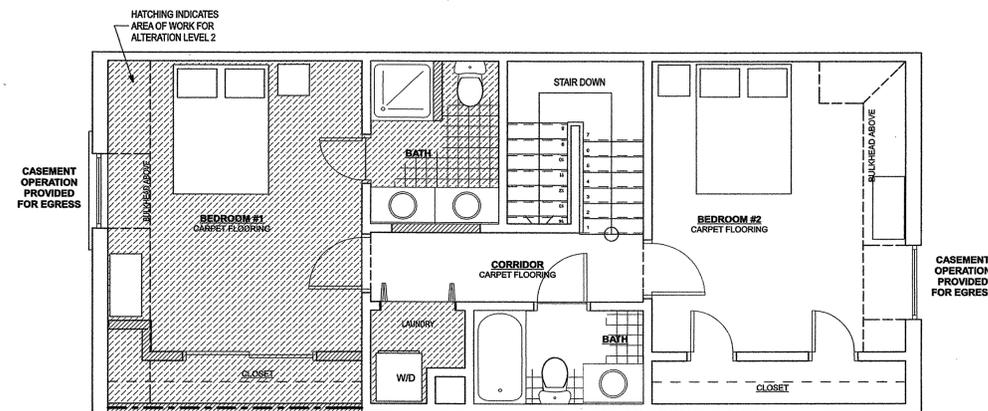
WIND DESIGN LOAD: SEE CHAPTER 16, 2004 FBC-B  
INFORMATION REQUIRED ON PLANS PER 1603.1.4 2004 FBC-B  
BASIC WIND SPEED = 110 MPH (FIG. 1609.5)  
WIND IMPORTANCE FACTOR = 1.0 (TABLE 1604.5)  
BUILDING CATEGORY = II (TABLE 1604.5)  
WIND EXPOSURE = B (1609.4)  
ENCLOSURE CLASSIFICATION = FULLY ENCLOSED (1609.2)  
STARWAYS: 100 PSF  
BALCONIES LIVE LOAD: 100 PSF  
BALCONIES DEAD LOAD: 15 PSF  
RAILINGS: 50 PLF APPLIED IN ANY DIRECTION AND A 200LB SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION.  
COMPONENT OF HANDRAILS AND GUARDRAILS: WITHSTAND A 50LB LOAD ON A 1' X 1' AREA INCLUDING OPENINGS

Existing Building Code Summary

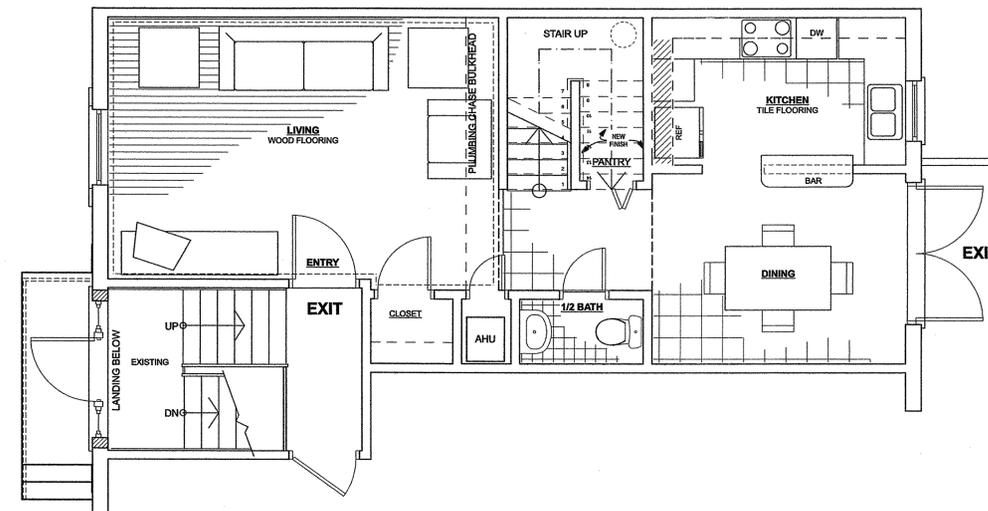
WORK AREA: SEE LIFE SAFETY/FURNITURE PLANS FOR DEFINED WORK AREAS. LEVEL 2 ALTERATION AREA IS DEFINED AS LESS THAN 50% OF SECOND FLOOR LEVEL OCCUPANCY AND USE.  
SCOPE OF WORK ON THIS PROJECT DOES NOT INCLUDE A CHANGE IN OCCUPANCY OR USE OF THIS STRUCTURE.

LEVEL 1 ALTERATIONS: THE MAJORITY OF WORK WITHIN THE SCOPE IS CONSIDERED LEVEL 1 DUE TO REPLACEMENT OF FINISHES.

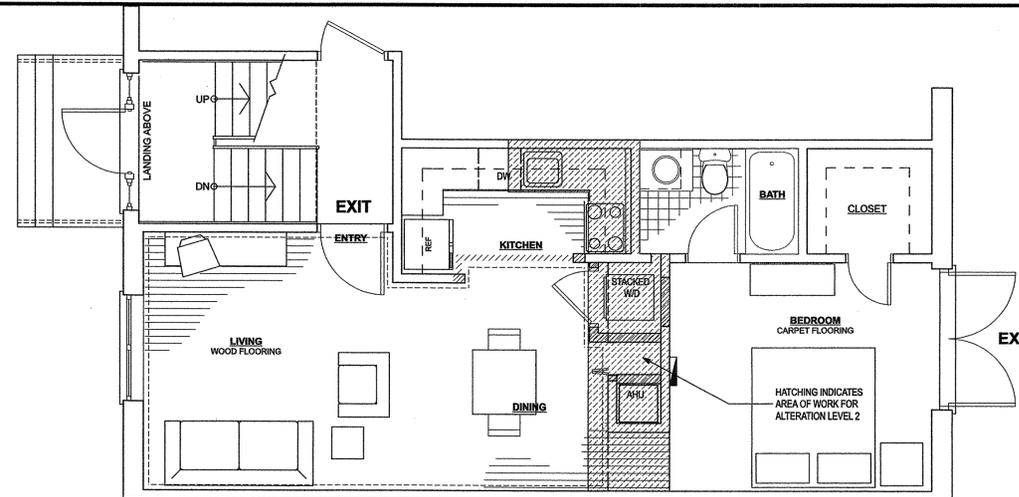
LEVEL 2 ALTERATIONS: THE SECOND LEVEL OF THE 2 BEDROOM UNIT AS WELL AS THE CENTER OF THE 1 BEDROOM UNIT ARE THE ONLY AREAS CONSIDERED TO BE LEVEL 2 ALTERATION.



1 Furn/Life Safety Plan - 2nd Floor - 2 BR Unit  
1/4" = 1'-0"



2 Furn/Life Safety Plan - 1st Floor - 2BR Unit  
1/4" = 1'-0"



3 Furn/Life Safety Plan - 1BR Unit  
1/4" = 1'-0"

PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:	Consultant:
CONCEPT SCHEMATIC DESIGN	ET	R. Lewis	8/7/07	1. Re-issued Set				
ADVANCED SCHEMATIC DESIGN				2.				
DESIGN DEVELOPMENT				3.				
90% CONSTR. DOCUMENTS				4.				
PERMIT DOCUMENTS	PO/R	R. LEWIS	8/16/06	5.				
100% CONSTR. DOCUMENTS	PO/R	R. LEWIS	12/20/06	6.				

Consultant: \_\_\_\_\_

Seal:

architects  
lewis + whitlock  
501 east tennessees st., ste c  
tallahassee, fl. 32309  
phone: 942.1718 fax: 942.2110  
www.think3d.net  
FL A0003316

Description:  
Furniture and Life Safety Plans  
Framing Notes, Code Summary  
and Product Approval

Sheet No.:  
A1.2

Client: Embassy House, LLC  
 Job Title: Embassy House Apartments Tallahassee, FL  
 Project #: 06132  
 Phase: 100% Construction Documents

PRODUCT APPROVAL SPECIFICATION SHEET

Location: Tallahassee, Florida

Project Name: Embassy House Apartments

As required by Florida Statute 563.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging	Ceco	Regent	2178.3
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
<b>B. WINDOWS</b>			
1. Single hung	Atrium	Series R1200	1264.2
2. Horizontal Slider			
3. Casement	Atrium	Series R1200	1265.1
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
<b>C. PANEL WALL</b>			
1. Siding			
2. Soffits	Royal Technologies	Royal Crest Vinyl Soffit	5881.19
3. EIFS	Dryvit	Outsulation Plus	2030.3
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane	Tyvek Comm. wrap	Air Infiltration & moisture protection	2145.1
9. Greenhouse			
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles	Tamiko	Elite Glass Seal AR	1956.1
2. Underlayment	Tamiko	Asphalt saturated organic felt	1744.4
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			
13. Liquid Applied Roof Sys			
14. Cements-Adhesives - Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
<b>E. SHUTTERS - N/A</b>			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
<b>F. SKYLIGHTS - N/A</b>			
1. Skylight			
2. Other			
<b>G. STRUCTURAL COMPONENTS</b>			
1. Wood connector/anchor			
	Simpson	Connector # CS18	1901.5
	Simpson	Connector # SPH4	538.34
	Simpson	Connector # H10	474.109
	Simpson	Connector # SP4	474.386
	Simpson	Connector # HGA-10	1423.8
	Simpson	Connector # LTS20	474.262
	Simpson	Connector # LTS149	474.251
	Simpson	Connector # SPH6	538.35
2. Truss plates	Truswal		FL 1612
	LVL	Laminated Veneer Lumber	2650 fb-1.9E FL 1511.6 2950fb-2.0E FL 1511.9
3. Engineered lumber			
4. Railing	AGR Railings	Aluminum railing systems	2640.1
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
<b>H. NEW EXTERIOR ENVELOPE PRODUCTS-N/A</b>			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the products tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Selective Demolition

- Definitions
  - Remove: Remove and legally dispose of items except those indicated to be reinstated, salvaged, or to remain the Owner's property.
  - Remove and Salvage: Items indicated to be removed and salvaged remain the Owner's property. Remove, clean and pack or crate items to protect against damage. Identify contents of containers and deliver to Owner's designated storage area.
  - Remove and Reinstall: Remove items indicated; clean, service, and otherwise prepare them for reuse; store and protect against damage. Reinstall items in the same locations or in locations indicated.
  - Existing to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by the Architect, items may be removed to a suitable, protected storage location during selective demolition and then cleaned and reinstalled in their original locations.
- Project Conditions
  - Owner may occupy portions of the building during selective demolition. Conduct selective demolition so that Owner's operations will not be disrupted. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations. Owner assumes no responsibility for actual condition of building to be selectively demolished.
    - Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
  - Asbestos: If any materials suspected of containing asbestos are encountered, do not disturb the materials. Immediately notify the Architect and the Owner.
    - Asbestos to be removed by Owner before start of work.
  - Storage or sale of removed items or materials on-site will not be permitted unless granted by permission of the Owner.
- Execution
  - Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
  - Inventory and record the condition of items to be removed and reinstated and items to be removed and salvaged.
  - When anticipated mechanical, electrical, or structural elements that conflict with the intended function or design are encountered, investigate and measure the nature and extent of the conflict. Promptly submit a written report to the Architect. Survey the condition of the building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during selective demolition.
  - Perform surveys as the work progresses to detect hazards resulting from selective demolition activities.
- Utility Services
  - Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
    - Do not interrupt existing utilities serving occupied or operating facilities, except when authorized in writing by Owner and authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to Owner and to governing authorities.
  - Utility Requirements: Locate, identify, disconnect, and seal or cap off indicated utility services serving building to be selectively demolished.
    - Owner will arrange to shut off indicated utilities when requested by Contractor.
    - Arrange to shut off indicated utilities with utility companies.
    - Where utility services are required to be removed, relocated, or abandoned, provide bypass connections to maintain continuity of service to other parts of the building before proceeding with selective demolition. Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal the remaining portion of pipe or conduit after bypassing.
    - Selective Demolition
      - Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete Work within limitations of governing regulations and as follows:
        - Proceed with selective demolition systematically, from higher to lower levels. Complete selective demolition work above each tier before disturbing supporting members on lower levels.
        - Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. To minimize disturbance of adjacent surfaces, use hand or small power tools designed for sawing or grinding, not hammering and chopping. Temporarily cover openings to remain.
        - Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
        - Remove decayed, vermin-infested, or otherwise dangerous or unsuitable materials and promptly dispose of off-site.

Fair Housing Accessibility	Required	Provided
Dwelling units covered by the Design Requirements:		
The design requirements apply to buildings built for first occupancy after March 13, 1991, which fall under the definition of "covered multifamily dwelling" are: means buildings consisting of four or more dwelling units if such buildings have one or more elevators; and ground floor dwelling units in other buildings consisting of four or more dwelling units.	N/A	N/A
All units of this project are existing and built prior to 1991. The existing buildings are remaining and the number of units will remain the same in each bldg.	N/A	N/A

GENERAL STRUCTURAL NOTES

- ALL REINFORCING STEEL SHALL BE GRADE 60 DEFORMED STEEL BARS.
- ANCHOR BOLTS SHALL BE 1/2" DIA. BY 6" LONG AND SHALL BE PRESET IN CONCRETE BEFORE PLACEMENT. SET ANCHOR BOLTS AT THE INDICATED SPACING. AT DISCONTINUOUS POINTS ON THE SILL PLATE, SET ANCHORS AT 6" FROM CORNER, BOTH WAYS.
- ALL WOOD FRAMING INCLUDING TRUSSES SHALL BE DESIGNED, DETAILED AND FABRICATED IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OF THE LATEST EDITION OF "THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION".
- PROVIDE GALVANIZED METAL HANGERS AND FRAMING ANCHORS OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER FOR EACH USE INCLUDING RECOMMENDED AND/OR BOLTING.
- PROVIDE FRAMING MEMBERS OF SIZES AND ON SPACING SHOWN, OR IF NOT SHOWN, COMPLY WITH RECOMMENDATION OF "MANUAL FOR HOUSE FRAMING" OF NATIONAL FOREST PRODUCTS ASSOCIATION. DO NOT SPICE STRUCTURAL MEMBERS BETWEEN SUPPORTS.
- ANCHOR AND NAILING AS SHOWN AND TO COMPLY WITH "RECOMMENDED NAILING SCHEDULE" OF "MANUAL FOR HOUSE FRAMING" AND IN ACCORDANCE WITH THE FLORIDA BUILDING CODE FASTENING SCHEDULE TABLE 1705.1.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL EMPLOY SKILLED PERSON FOR LAYOUT OF FOUNDATION.
- COORDINATE BETWEEN ARCHITECTURAL DRAWINGS AND STRUCTURAL DRAWINGS AND INCORPORATE ALL REQUIRED DETAILS FROM BOTH COMPONENTS.
- ALL REINFORCING STEEL, WIRE MESH AND CONCRETE ACCESSORIES SHALL BE PLACED IN ACCORDANCE WITH THE "MANUAL OF PRACTICE OF THE CONCRETE AND REINFORCING STEEL INSTITUTE".
- DESIGN FLOOR LIVE LOADING IS 40 POUNDS PER SQUARE FOOT, MINIMUM.
- DESIGN WIND SPEED FOR TRANSFER OF WIND FORCES TO THE STRUCTURE IS 110 MPH.
- WIND ANALYSIS IS TAKEN FROM CHAPTER 16 OF THE 2004 FBC-B, WITH ALL LATEST REVISIONS.
- COMPLY WITH ALL APPLICABLE REQUIREMENTS OF:
  - "THE MANUAL OF PRACTICE OF THE CONCRETE AND REINFORCING STEEL INSTITUTE";
  - AMERICAN CONCRETE INSTITUTE, ACI 318-LATEST, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE";
  - "FLORIDA BUILDING CODE, 2004 EDITION" WITH ALL LATEST REVISIONS, ALL ADJUNCT CODES AND REFERENCES APPLICABLE TO THIS WORK FOUND IN THE 2004 FLORIDA BUILDING CODE.
- PLACE CONCRETE WHEN AIR TEMPERATURE IS BETWEEN 50 DEGREES (F) AND 88 DEGREES (F). PLACE WITH A SLUMP BETWEEN 3" AND 6". USE EXPANSION AND SHRINKAGE CONTROL AS INDICATED ON THE PLANS.
- COMPONENTS AND CLADDING PRESSURE, MAXIMUM VALUES CHOSEN
 

ROOF - ZONE 1	+2.5,	-19.9 PSF
ROOF - ZONE 2	+2.5,	-42.1 PSF
ROOF - ZONE 3	+2.5,	-42.1 PSF
WALL - ZONE 4	+21.8,	-23.6 PSF
WALL - ZONE 5	+21.8,	-29.1 PSF
OVERHANG - ZONE 1	+40.6 PSF	
OVERHANG - ZONE 3	-68.3 PSF	

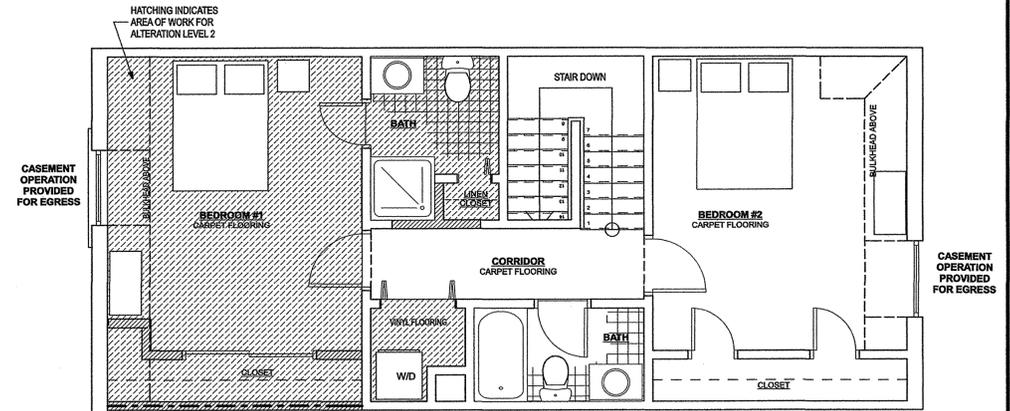
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DESIGN LOADS

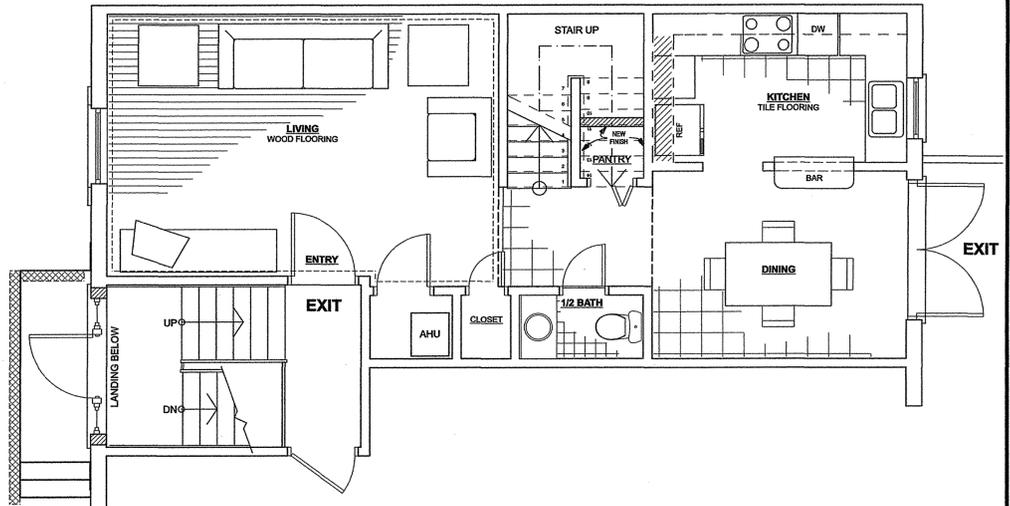
WIND DESIGN LOAD: SEE CHAPTER 16, 2004 FBC-B  
 INFORMATION REQUIRED ON PLANS PER 1603.1.4 2004 FBC-B  
 BASIC WIND SPEED = 110 MPH (FIG. 1609)  
 WIND IMPORTANCE FACTOR = 1.0 (TABLE 1604.5)  
 BUILDING CATEGORY = II (TABLE 1604.5)  
 WIND EXPOSURE = B (1604.4)  
 ENCLOSURE CLASSIFICATION = FULLY ENCLOSED (1609.2)  
 STAIRWAYS: 100 PSF  
 BALCONIES LIVE LOAD: 100 PSF  
 BALCONIES DEAD LOAD: 15 PSF  
 RAILINGS: 50 PLF APPLIED IN ANY DIRECTION AND A 200LB SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION.  
 COMPONENT OF HANDRAILS AND GUARDRAILS: WITHSTAND A 50LB LOAD ON A 1' X 1' AREA INCLUDING OPENINGS

Existing Building Code Summary

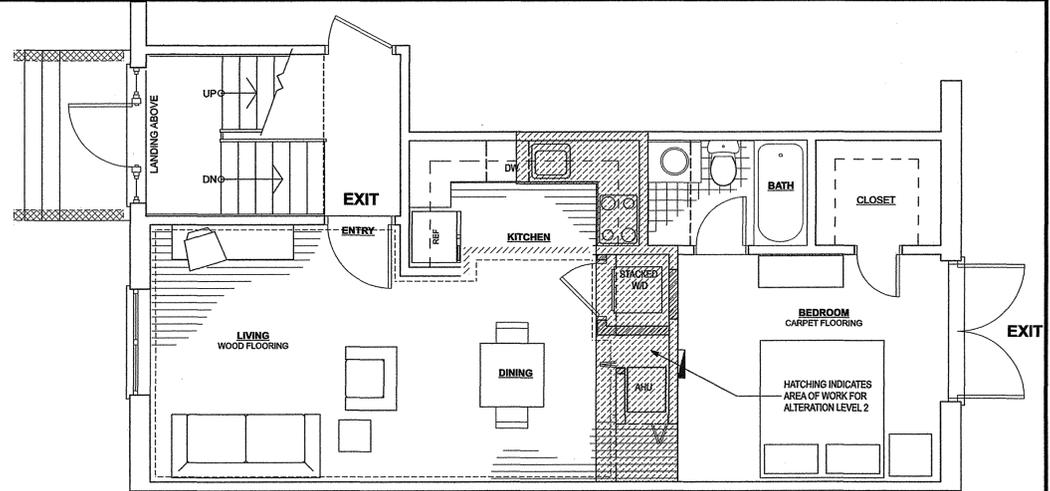
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 LEVEL 1 ALTERATIONS: THE MAJORITY OF WORK WITHIN THE SCOPE IS CONSIDERED LEVEL 1 DUE TO REPLACEMENT OF FINISHES.  
 LEVEL 2 ALTERATIONS: THE SECOND LEVEL OF THE 2 BEDROOM UNIT AS WELL AS THE CENTER OF THE 1 BEDROOM UNIT ARE THE ONLY AREAS CONSIDERED TO BE A LEVEL 2 ALTERATION.



1 Furn/Life Safety Plan - 2nd Floor - 2 BR Unit  
 1/4" = 1'-0"



2 Furn/Life Safety Plan - 1st Floor - 2BR Unit  
 1/4" = 1'-0"



3 Furn/Life Safety Plan - 1 BR Unit  
 1/4" = 1'-0"

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PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:
CONCEPT SCHEMATIC DESIGN				1.			
ADVANCED SCHEMATIC DESIGN				2.			
DESIGN DEVELOPMENT				3.			
90% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/16/08	5.			
100% CONSTR. DOCUMENTS	PO/RL	R. LEWIS	12/20/08	6.			

Consultant:

Consultant:

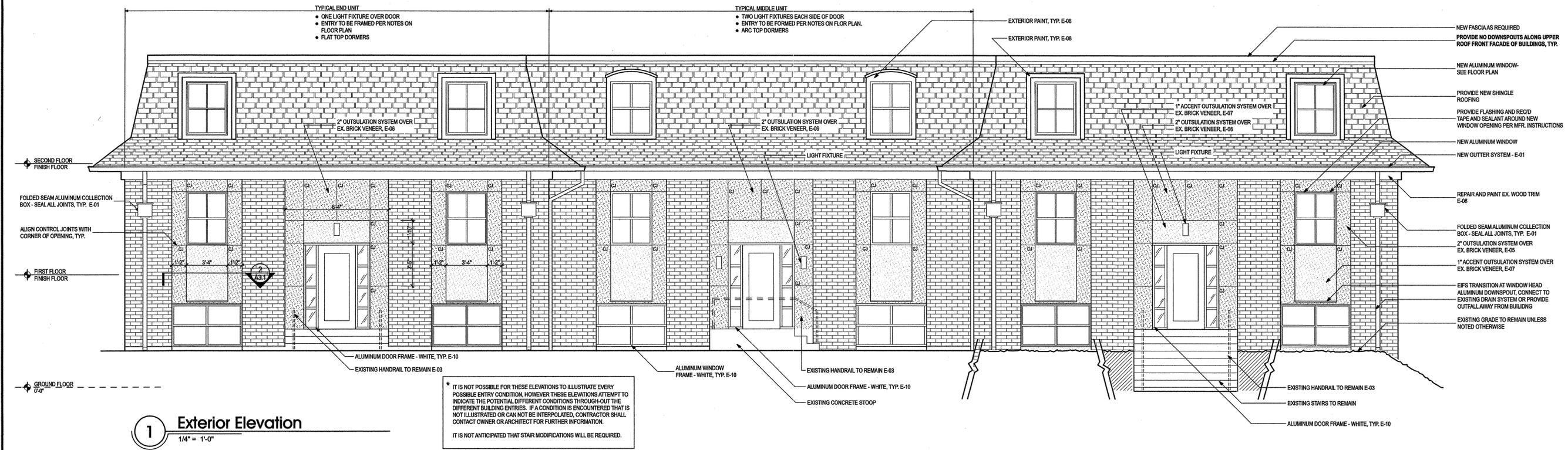
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*[Signature]*  
 8/16/08

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 501 east tennessee st., ste c  
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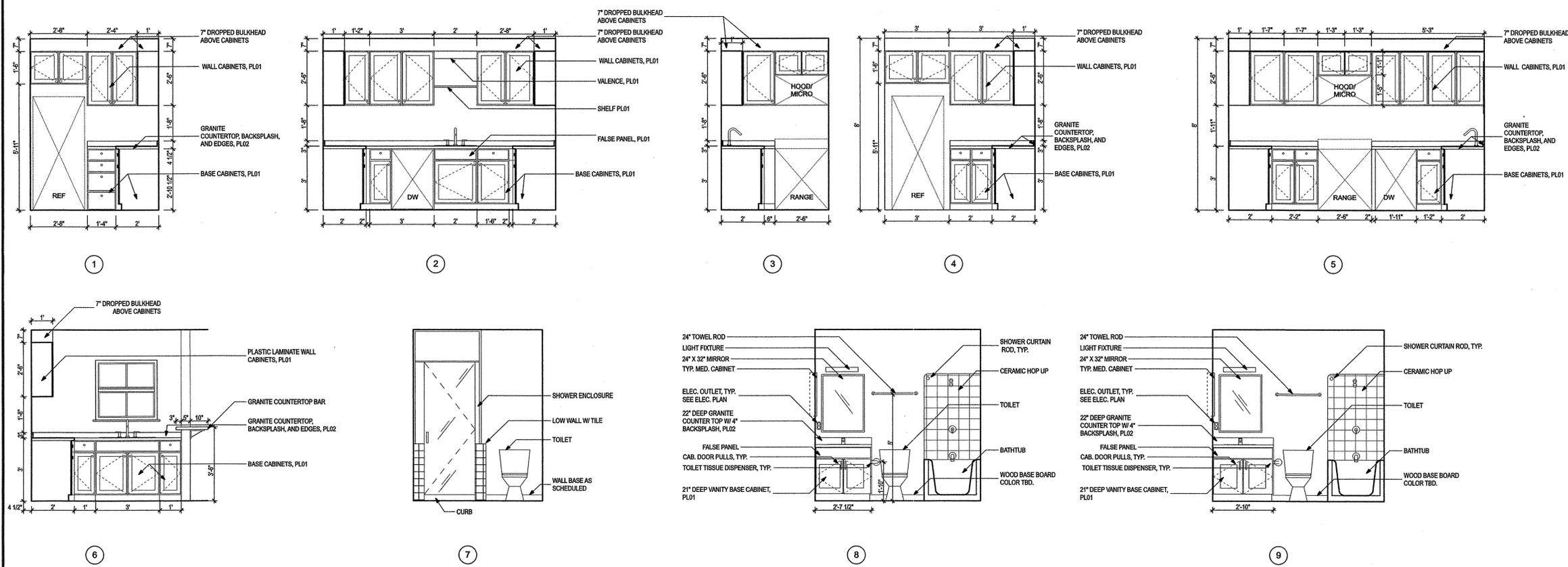
Description: Furniture and Life Safety Plan Framing Notes, Code Summary and Product Approval

This Sheet REPLACED SHEET NO. 1  
 SHEET REVISED AT 2  
 SHEET



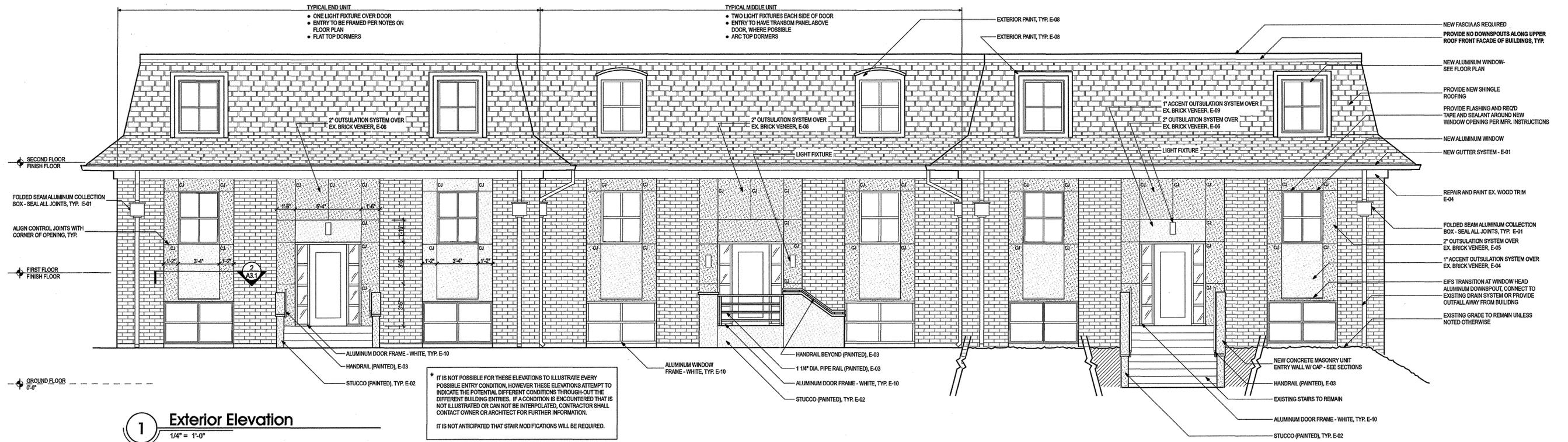
1 Exterior Elevation  
1/4" = 1'-0"

\* IT IS NOT POSSIBLE FOR THESE ELEVATIONS TO ILLUSTRATE EVERY POSSIBLE ENTRY CONDITION. HOWEVER THESE ELEVATIONS ATTEMPT TO INDICATE THE POTENTIAL DIFFERENT CONDITIONS THROUGHOUT THE DIFFERENT BUILDING ENTRIES. IF A CONDITION IS ENCOUNTERED THAT IS NOT ILLUSTRATED OR CAN NOT BE INTERPOLATED, CONTRACTOR SHALL CONTACT OWNER OR ARCHITECT FOR FURTHER INFORMATION.  
IT IS NOT ANTICIPATED THAT STAIR MODIFICATIONS WILL BE REQUIRED.

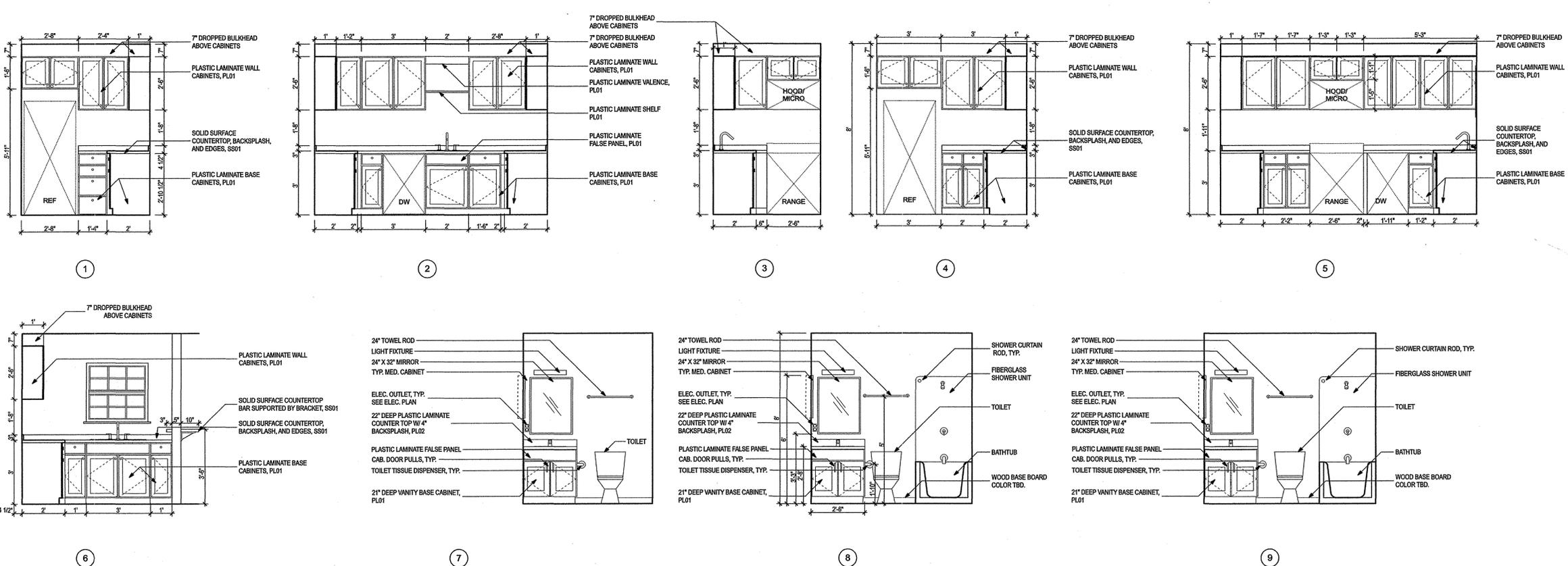


2 Interior Elevations  
3/8" = 1'-0"

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	CONCEPT SCHEMATIC DESIGN				1. Re-Issued Set	ET	R. Lewis	8/7/07						
	ADVANCED SCHEMATIC DESIGN				2.									
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100% CONSTR. DOCUMENTS	PO/RL	R. LEWIS	12/20/06	6.										



**1 Exterior Elevation**  
1/4" = 1'-0"

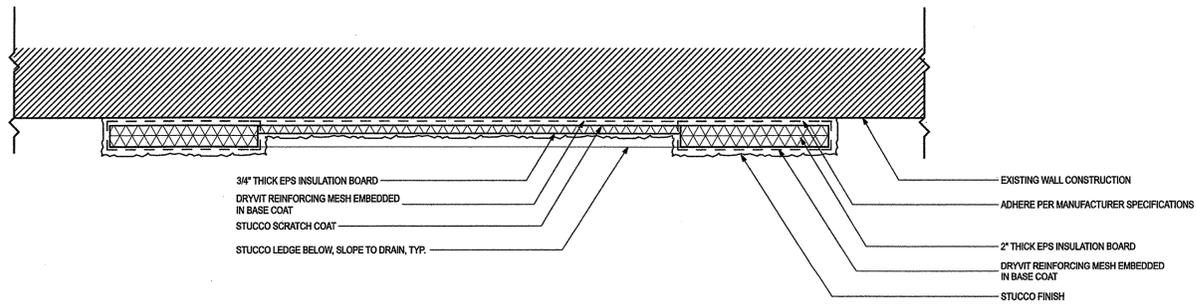


**2 Interior Elevations**  
3/8" = 1'-0"

**EXTERIOR FINISH LEGEND**

E-01	Gutter/Fascia, Berridge Metallic - Champagne
E-02	Stucco w/ Exterior Paint, Sherwin Williams - SW7053 Adaptive Shade
E-03	Metal Railing w/ Exterior Paint, Sherwin Williams - SW7054 Suitable Brown
E-04	3" Accent EIFS Band w/ Exterior Paint, Sherwin Williams - SW7052 Gray Area
E-05	2" Accent Outsulation w/ Exterior Paint, Sherwin Williams - SW7053 Adaptive Shade
E-06	2" Accent Outsulation w/ Exterior Paint, Sherwin Williams - SW6344 Flower Pot
E-07	1" Accent Outsulation w/ Exterior Paint, Sherwin Williams - SW7052 Gray Area
E-08	Exterior Paint on Dormer, Sherwin Williams - SW7052 Gray Area
E-09	Roof Shingles, TAMKO Elite Glass - Seal AR - Weathered Wood
E-10	Aluminum Door and Window Frames- White

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PHASE:	DRAWN:	REVIEWED:	DATE:	REVISIONS:	DRAWN:	REVIEWED:	DATE:																																																							
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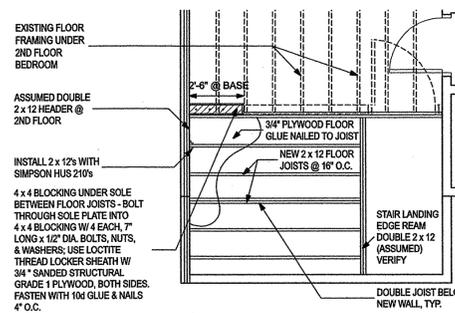


**1 Wall Detail**  
1 1/2" = 1'-0"

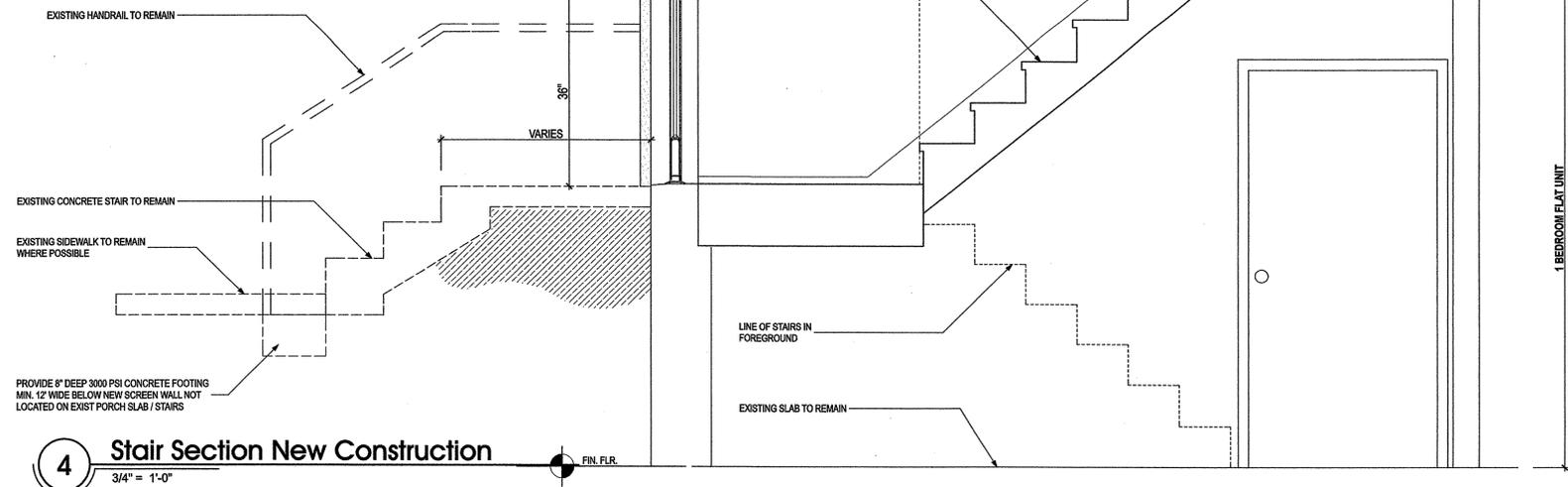
**Dryvit 'Outsulation Plus' System**

- OVER MASONRY:** ADHESIVE, MOLDED POLYSTYRENE INSULATION BOARD, WOVEN GLASS FIBER FABRIC, A BASE COAT, SYNTHETIC PLASTER FINISH.
- ADHESIVE:** PRIMUS ADHESIVE - COPOLYMER DISPERSION WITH A QUARTZ SAND AGGREGATE THAT IS MIXED W/ TYPE I PORTLAND CEMENT COMPLYING W/ ASTM C 180.
- INSULATION BOARD:** MOLDED RIGID EXPANDED POLYSTYRENE INSULATION BOARD HAVING A NOMINAL DENSITY OF 1 POUND PER CUBIC FOOT AND FLAME SPREAD OF NOT EXCEEDING 25 AND SMOKE DENSITY INDEX NOT EXCEEDING 450 WHEN TESTED IN ACCORDANCE W/ ASTM E 84. BOARD'S THICKNESS CAN RANGE BETWEEN 3/4" TO 4" AND HAVE A MAX. WIDTH OF 24" AND MAX. LENGTH OF 48".
- DRYVIT BASE COAT:** PRIMUS CONSIST OF PRIMUS ADHESIVE MIXED AT A RATIO OF 1:1 BY WEIGHT WITH TYPE I PORTLAND CEMENT. UP TO 5 FLUID OUNCES OF WATER MAY BE ADDED TO 5 GALLONS OF BASE COAT TO ENHANCE WORKABILITY.
- REINFORCING FABRIC:** BALANCED OPEN-WEAVE GLASS FIBER, MADE FROM TWISTED MULTI END STRANDS AND TREATED FOR COMPATIBILITY WITH THE OTHER MATERIALS. MESH WEIGHS A MIN. OF 4.3 ONCES PER SQUARE YARD W/ A 12/6 THREAD COUNT.
- FINISH:** COMPOSED OF NATURAL MINERAL AGGREGATES AND FILLERS, COLORED PIGMENTS AND AN ACRYLIC LATEX EMULSION.
- SEALANTS:** SHALL BE COMPATIBLE WITH THE EIFS COMPONENTS AND BE RECOMMENDED BY DRYVIT SYSTEMS, INC.
- FLASHING TAPE:** SELF-ADHERING SHEET TYPE MEMBRANE COMPLYING WITH THE ICC-ES ACCEPTANCE CRITERIA FOR FLASHING MATERIALS (AC148) FOR USE AS FLASHING ON WINDOWS AND DOOR PENETRATIONS. FLASHING IS 0.027 IN. THICK AND AVAILABLE IN 75 FOOT ROLLS.

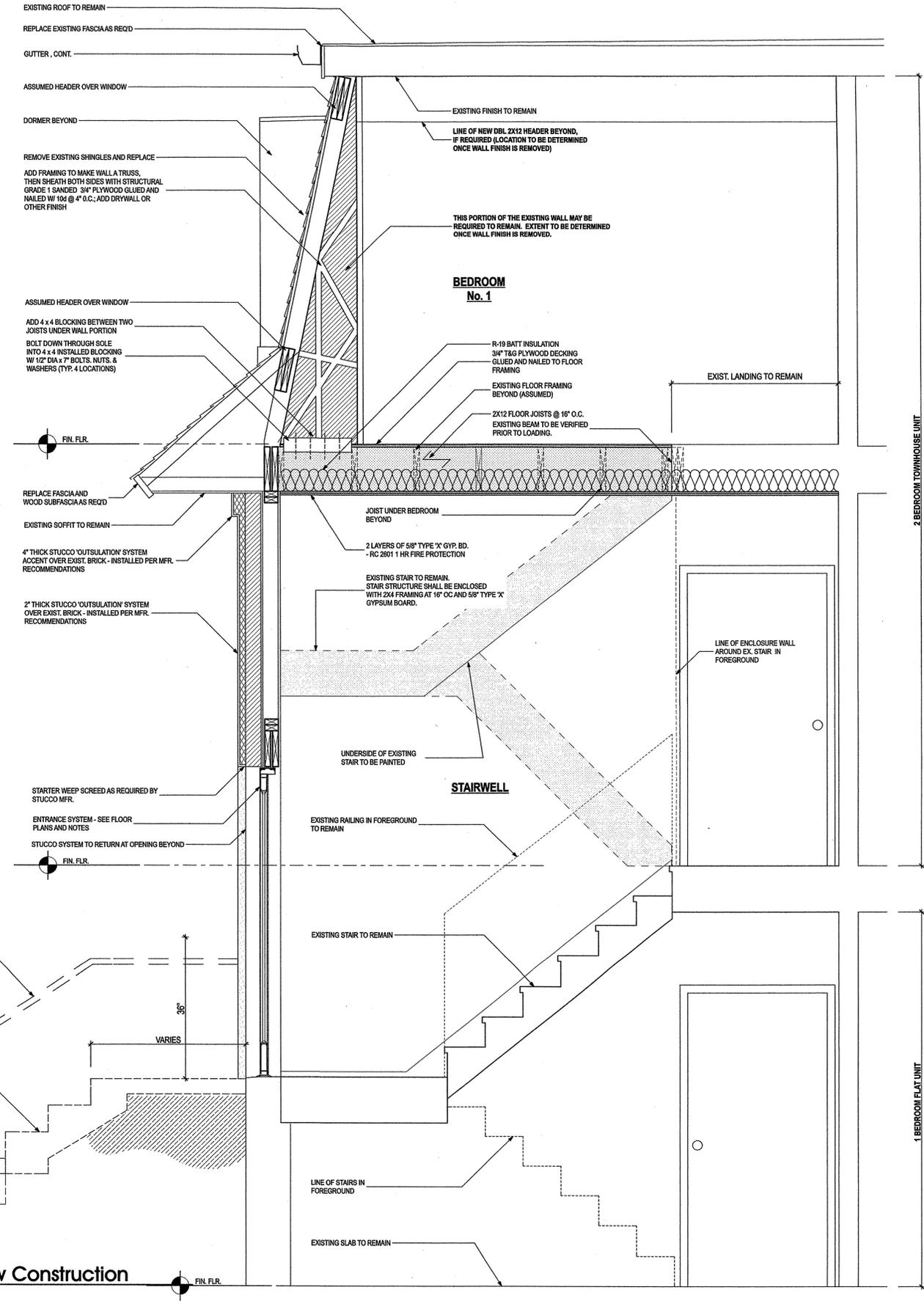
**2 NOT USED**  
1 1/2" = 1'-0"



**3 Structural Stair Infill Drawing**  
1/4" = 1'-0"



**4 Stair Section New Construction**  
3/4" = 1'-0"



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DESIGN DEVELOPMENT				3.			
90% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/16/06	5.			
100% CONSTR. DOCUMENTS	PO/RL	R. LEWIS	12/20/06	6.			

Consultant:

Consultant:

*[Signature]*  
AUG 17 2007

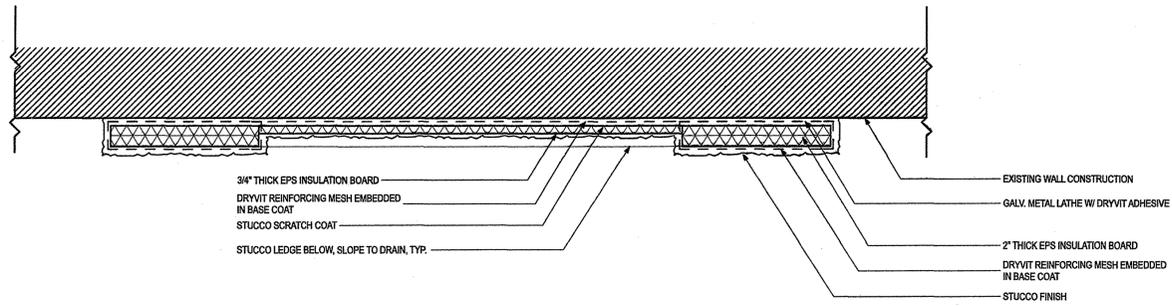
Seal:

*[Signature]*  
8-16-07

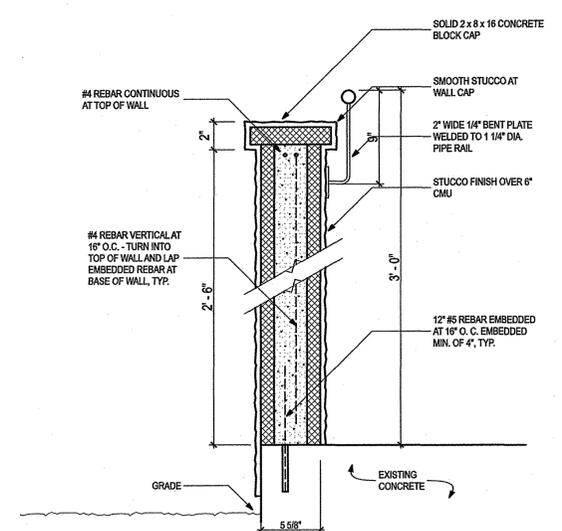
**architects**  
**lewis + whitlock**  
501 east tennessee st., ste c  
tallahassee, fl. 32308  
phone: 942.1718 fax: 942.2110  
www.think3d.net

Description:  
**Partial Building Section, Wall  
Details and Exterior Wall System  
Specs**

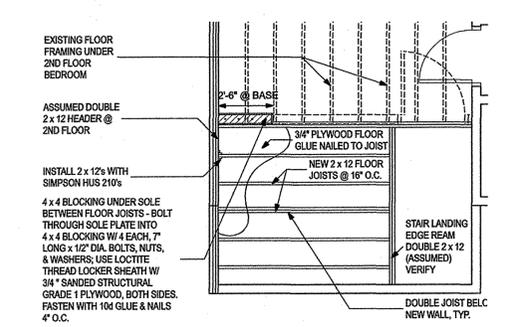
Sheet No.:  
**A3.1**



**1 Wall Detail**  
1 1/2" = 1'-0"



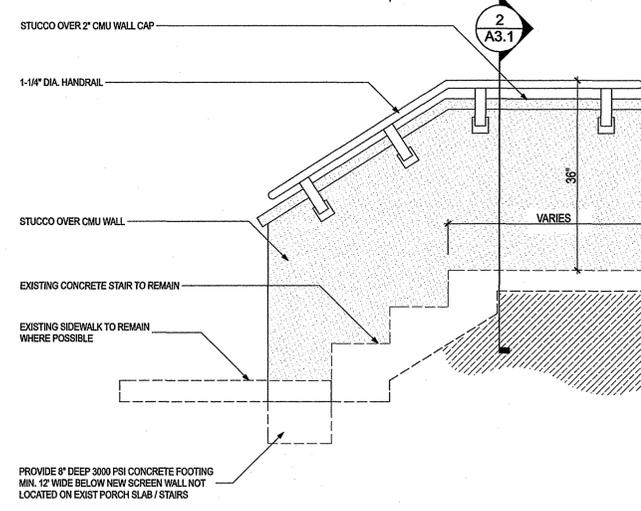
**2 Entry Wall Section**  
1 1/2" = 1'-0"



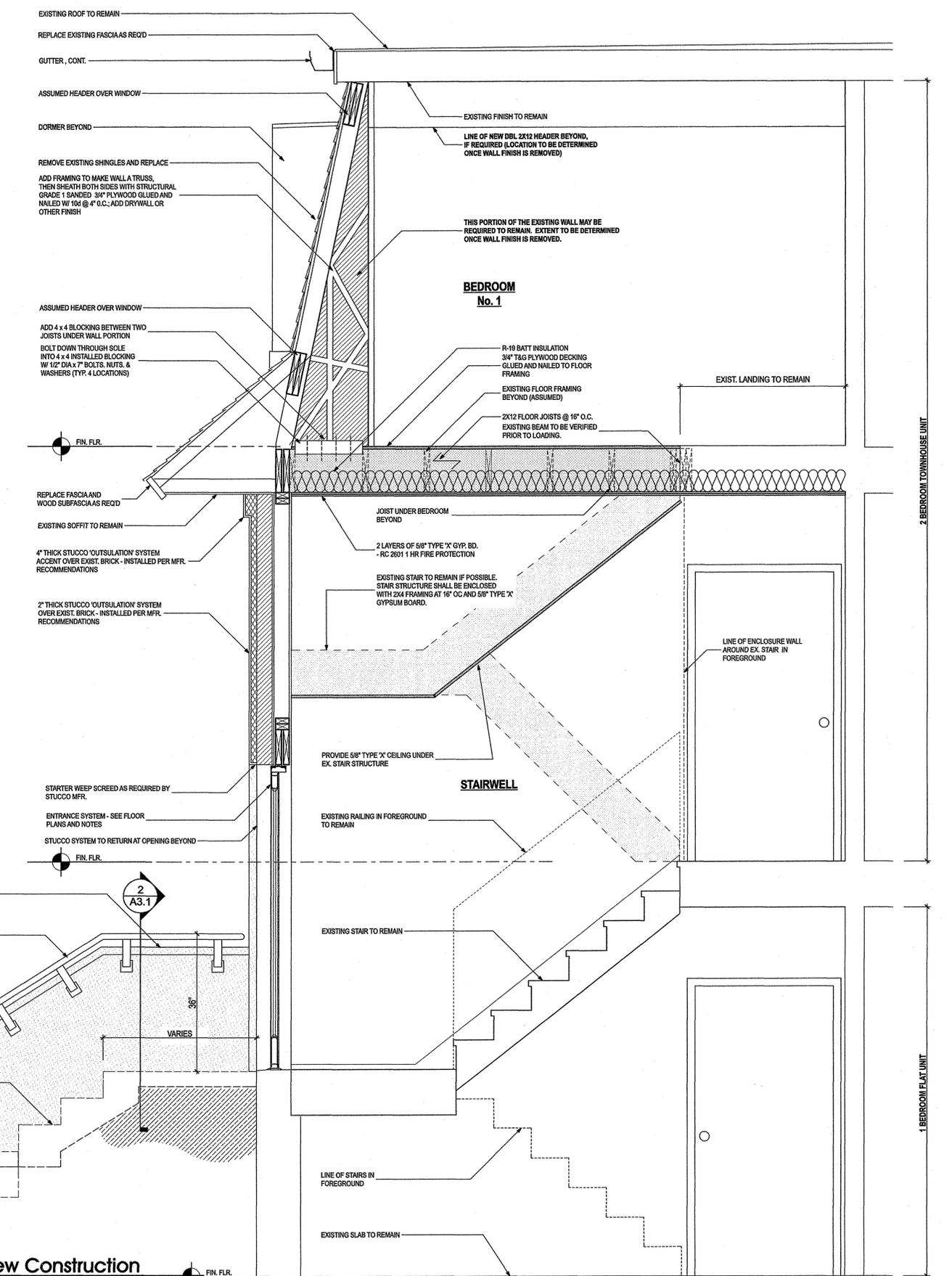
**3 Structural Stair Infill Drawing**  
1/4" = 1'-0"

**Dryvit 'Outsulation Plus' System**

- OVER MASONRY:** ADHESIVE, MOLDED POLYSTYRENE INSULATION BOARD, WOVEN GLASS FIBER FABRIC, A BASE COAT, SYNTHETIC PLASTER FINISH.
- ADHESIVE:** PRIMUS ADHESIVE - COPOLYMER DISPERSION WITH A QUARTZ SAND AGGREGATE THAT IS MIXED W/ TYPE I PORTLAND CEMENT COMPLYING W/ ASTM C 150.
- INSULATION BOARD:** MOLDED RIGID EXPANDED POLYSTYRENE INSULATION BOARD HAVING A NOMINAL DENSITY OF 1 POUND PER CUBIC FOOT AND FLAME SPREAD OF NOT EXCEEDING 25 AND SMOKE DENSITY INDEX NOT EXCEEDING 450 WHEN TESTED IN ACCORDANCE W/ ASTM E 84. BOARDS THICKNESS CAN RANGE BETWEEN 3/4" TO 4" AND HAVE A MAX. WIDTH OF 24" AND MAX. LENGTH OF 48".
- DRYVIT BASE COAT:** PRIMUS CONSIST OF PRIMUS ADHESIVE MIXED AT A RATIO OF 1:1 BY WEIGHT WITH TYPE I PORTLAND CEMENT. UP TO 8 FLUID OUNCES OF WATER MAY BE ADDED TO 5 GALLONS OF BASE COAT TO ENHANCE WORKABILITY.
- REINFORCING FABRIC:** BALANCED OPEN-WEAVE GLASS FIBER, MADE FROM TWISTED MULTI END STRANDS AND TREATED FOR COMPATIBILITY WITH THE OTHER MATERIALS. MESH WEIGHTS A MIN. OF 4.3 ONCES PER SQUARE YARD W/ A 12x6 THREAD COUNT.
- FINISH:** COMPOSED OF NATURAL MINERAL AGGREGATES AND FILLERS, COLORED PIGMENTS AND AN ACRYLIC LATEX EMULSION.
- SEALANTS:** SHALL BE COMPATIBLE WITH THE EPS COMPONENTS AND BE RECOMMENDED BY DRYVIT SYSTEMS, INC.
- FLASHING TAPE:** SELF-ADHERING SHEET TYPE MEMBRANE COMPLYING WITH THE ICC-ES ACCEPTANCE CRITERIA FOR FLASHING MATERIALS (AC108) FOR USE AS FLASHING ON WINDOWS AND DOOR PENETRATIONS. FLASHING IS 0.027 IN. THICK AND AVAILABLE IN 75 FOOT ROLLS.



**4 Stair Section New Construction**  
3/4" = 1'-0"

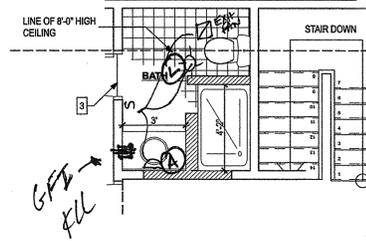


# LEGEND

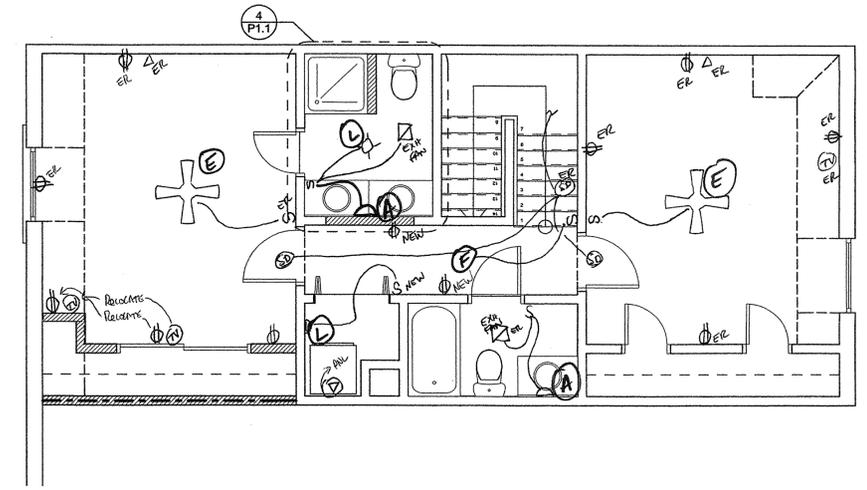
- 120V/20A DUPLEX RECEPTACLE WITH INTEGRAL GFI PROTECTION. "WP" INDICATED GASKETED WEATHERPROOF COVER. MOUNT 18" A.F.F. UNLESS OTHERWISE NOTED.
  - 120V/20A DUPLEX RECEPTACLE WITH INTEGRAL GFI PROTECTION. MOUNT ABOVE COUNTERTOP. "WP" INDICATES GASKETED WEATHERPROOF COVER. MOUNT 18" A.F.F. UNLESS OTHERWISE NOTED.
  - 120V/20A DUPLEX RECEPTACLE. MOUNT 18" A.F.F. UNLESS OTHERWISE NOTED.
  - DUPLEX RECEPTACLE. MOUNT ABOVE COUNTERTOP.
  - 120V/20A QUADRAPLEX RECEPTACLE. MOUNT 18" A.F.F. UNLESS OTHERWISE NOTED.
  - 20A/1P SWITCH. MOUNT 48" A.F.F. UNLESS OTHERWISE NOTED. "3" INDICATES 3-WAY SWITCH.
  - 30A OVERTER CONNECTION. PROVIDE 3 #10; #10 GND TO PANEL.
  - 50A RANGE CONNECTION. PROVIDE (3) #8; #10 GND TO PANEL.
  - EXHAUST FAN. PROVIDED AND DUCTED BY MECHANICAL. WIRED BY ELECTRICAL.
  - WALL-MOUNTED LIGHTING FIXTURE.
  - WALL-SCONCE LIGHTING FIXTURE.
  - RECESSED CAN LIGHTING FIXTURE.
  - CEILING FAN WITH LIGHT KIT.
  - SURFACE-MOUNTED CLOSE CEILING LIGHTING FIXTURE.
  - 4FT SURFACE-MOUNTED FLOURESCENT LIGHTING FIXTURE.
  - 4FT SURFACE-MOUNTED FLOURESCENT LIGHTING FIXTURE, WITH EMERGENCY BALLAST. PROVIDE UNSWITCHED HOT CONDUCTOR.
  - 2FT WALL BRACKET LIGHTING FIXTURE.
  - 4FT WALL BRACKET LIGHTING FIXTURE.
  - PENDANT LIGHTING FIXTURE.
  - 2FT FLUORESCENT UTILITY LIGHTING FIXTURE.
  - 4FT FLUORESCENT UTILITY LIGHTING FIXTURE.
  - LED EXIT SIGN.
  - PHOTOELECTRIC TYPE SINGLE-STATION SMOKE ALARM. CONNECT TO ROOM REC/LTG CKT. PROVIDE 9VDC BATTERY BACKUP. WIRE ALL SMOKE ALARMS IN UNIT TO ALARM TOGETHER.
  - FIRE ALARM SYSTEM SMOKE DETECTOR.
  - FIRE ALARM SYSTEM HEAT DETECTOR.
  - MINI-SOUNDER TIED TO BUILDING FIRE ALARM SYSTEM.
  - FIRE ALARM STROBE.
  - FIRE ALARM HORN.
  - FIRE ALARM PULL STATION MOUNT 48" A.F.F.
  - DOOR HOLD-OPEN DEVICE, CONNECTED TO BUILDING FIRE ALARM SYSTEM.
  - JUNCTION BOX. SIZE PER NEC, OR AS INDICATED ON PLANS. PROVIDE CONNECTION TO EQUIPMENT IF NECESSARY.
  - TELEPHONE OUTLET. PROVIDE DEVICE BOX. 3/4" CONDUIT STUBBED INTO ATTIC. CABLE BY OTHERS.
  - TV-OUTLET. PROVIDE DEVICE BOX. 1" C. STUBBED INTO ATTIC. CABLE BY OTHERS.
  - GARBAGE DISPOSAL.
- CONDUIT (1/2" MIN) AND CONDUCTORS (#12 AND MIN) CONCEALED IN WALLS, FLOOR, OR CEILING WHERE POSSIBLE. PROVIDE INSULATED GREEN EQUIPMENT GROUND (SIZE PER NEC) IN ALL RACEWAYS. CONNECT TO EQUIPMENT VIA FLEX. NOTE: FOR 20A BRANCH CIRCUITS, WHERE CONDUCTOR LENGTH EXCEEDS 100FT, CIRCUIT CONDUCTORS SHALL BE #10AWG. MIN. NM-B/CABLE ALLOWED IN CONCEALED LOCATIONS, WHERE PERMITTED BY CODE.

### Notes:

- Existing electrical panel to remain.
- All wiring shall be in accordance with the 2004 edition of the Florida building code (with 2005 supplements), 2005 edition of the National Electrical Code, the 2005 edition of the Florida Fire Prevention Code, the 2002 edition of NFPA 72, National Fire Alarm code.
- Existing electrical in opened walls will meet above referenced electrical codes and requirements.



**4 Alternate Bath Plan**  
1/4" = 1'-0"



**1 Electrical Plan - 2nd Floor - 2 BR Unit**  
1/4" = 1'-0"

**NOTE:**  
SEE ELEVATIONS ON SHEET A2.1 FOR TYPICAL EXTERIOR LIGHTING REQUIREMENTS



EMBASSY HOUSE APARTMENTS  
TWO STORY 2-BEDROOM UNIT

ELECTRICAL LOAD CALCULATION

HAC SQ. FT. AREA =	1144
PATIO	90
<b>TOTAL =</b>	<b>1234</b>

General Load

General Lighting and Receptacles	3432 VA
Two small appliance outlet circuits @ 1500 VA each	3000 VA
One Laundry Circuit @ 1500 VA each	1500 VA
Range	8000 VA
Dishwasher	1500 VA
Dryer	5000 VA
Hot Water Heater	4500 VA

General Load Summary

Subtotal general load	28932 VA
First 8 kVA at 100%	8000 VA
Remainder of general load at 40%	2323 VA
<b>Total net general load</b>	<b>18573 VA</b>

HVAC Information

Heat pump and Supplemental Heat	7500 VA
---------------------------------	---------

Totals

Net general load	18573 VA
Heat pump and supplementary heat	2500 VA
<b>Total</b>	<b>21073 VA</b>

Calculated Load for Service: 96.13667A

Minimum main circuit breaker size for dwelling at 240/120 volt single phase service: 100A



EMBASSY HOUSE APARTMENTS  
SINGLE STORY 1-BEDROOM UNIT

ELECTRICAL LOAD CALCULATION

HAC SQ. FT. AREA =	544
PATIO	92
<b>TOTAL =</b>	<b>634</b>

General Load

General Lighting and Receptacles	1632 VA
Two small appliance outlet circuits @ 1500 VA each	3000 VA
One Laundry Circuit @ 1500 VA each	1500 VA
Range	8000 VA
Dishwasher	1500 VA
Dryer	5000 VA
Hot Water Heater	4500 VA

General Load Summary

Subtotal general load	25132 VA
First 8 kVA at 100%	8000 VA
Remainder of general load at 40%	6853 VA
<b>Total net general load</b>	<b>14853 VA</b>

HVAC Information

Straight Cool/Strip Heat	5000 VA
--------------------------	---------

Totals

Net general load	14853 VA
Heat pump and supplementary heat	5000 VA
<b>Total</b>	<b>19853 VA</b>

Calculated Load for Service: 82.72A

Minimum main circuit breaker size for dwelling at 240/120 volt single phase service: 100A

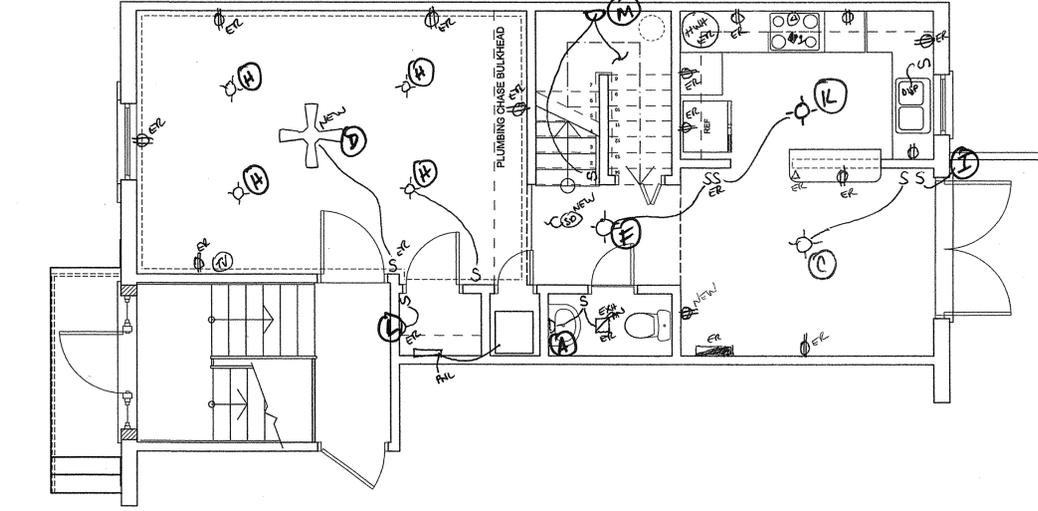
Florida: EC 13002909  
Georgia: EN-214192  
850.514.0003  
Fax: 514.1777  
5392 Tower Road  
Tallahassee, FL 32303

Florida: EC 13002909  
Georgia: EN-214192  
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Fax: 514.1777  
5392 Tower Road  
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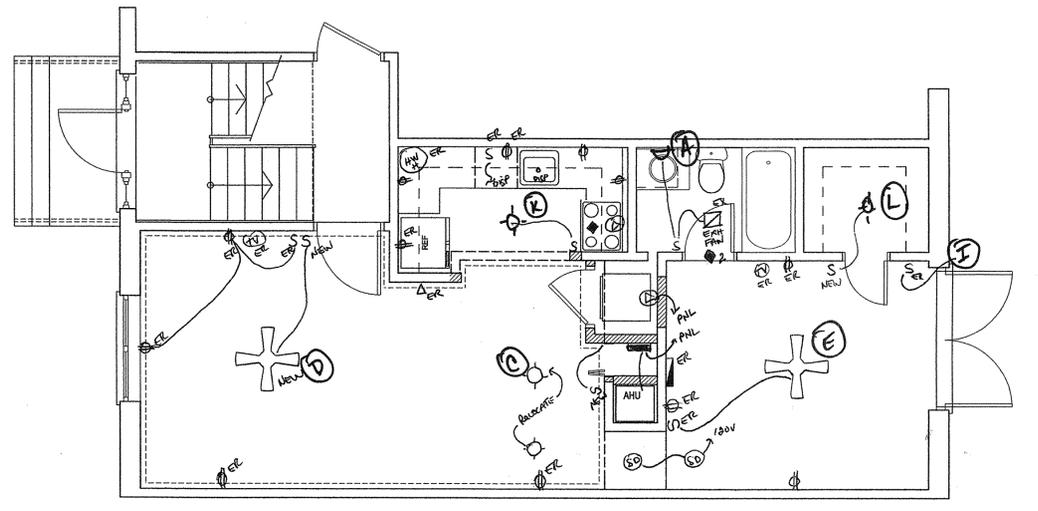
### 01610 Fixtures

Owner recognizes that this is a phased project and lighting fixtures will not be bought in bulk, therefore fixtures may be substituted between phases due to availability.

- |  |               |        |
|--|---------------|--------|
| A 60393 - vanity light - bathroom                                | or equivalent | Loves  |
| C 48694 - chandelier - dining room                               | or equivalent | Loves  |
| D 547-632 - 62" ceiling fan w/out light kit - living             | or equivalent | Hdepot |
| E 547-632 - 62" ceiling fan w/light kit - bedroom                | or equivalent | Hdepot |
| F 229763 - ceiling light - hall                                  | or equivalent | Loves  |
| H 57774 - recessed light - living room                           | or equivalent | Loves  |
| I 150459 - exterior jelly jar - back door                        | or equivalent | Loves  |
| K 473-705 - Kitchen light  | or equivalent | Hdepot |
| L 789-139 - bedroom closet light (or light globe #33686 - Loves) | or equivalent | Hdepot |
| M 459-920 - wall sconce - stairs                                 | or equivalent | Hdepot |



**3 Electrical Plan - 1st Floor - 2 BR Unit**  
1/4" = 1'-0"



**2 Electrical Plan - 1 BR Unit**  
1/4" = 1'-0"

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80% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/16/08	5.			
100% CONSTR. DOCUMENTS	PO/RL	R. LEWIS	12/20/08	6.			

Consultant:

Consultant:

Seal:  
EC-13002909  
8-25-2009

**architects lewis + whitlock**  
501 east tennessee st., ste c  
tallahassee, fl. 32308  
phone: 942.1718 fax: 942.2110  
www.think3d.net  
FLA0003316

Description: **Electrical Plans**

Sheet No.: **E1.1**

# LEGEND

- 120V/20A DUPLEX RECEPTACLE WITH INTEGRAL GFI PROTECTION. "WP" INDICATED GASKETED WEATHERPROOF COVER. MOUNT 18" A.F.F. UNLESS OTHERWISE NOTED.
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  - 120V/20A DUPLEX RECEPTACLE. MOUNT 18" A.F.F. UNLESS OTHERWISE NOTED.
  - \*ER = existing to remain \*NEW = new device added.
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  - 120V/20A QUADRAPLEX RECEPTACLE. MOUNT 18" A.F.F. UNLESS OTHERWISE NOTED.
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  - 30A DRYER CONNECTION. PROVIDE 3 #10, #10 GND TO PANEL.
  - 50A RANGE CONNECTION. PROVIDE (3) #8, #10 GND TO PANEL.
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  - WALL-SCONCE LIGHTING FIXTURE.
  - RECESSED CAN LIGHTING FIXTURE.
  - CEILING FAN WITH LIGHT KIT.
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  - 4FT SURFACE-MOUNTED FLOURESCENT LIGHTING FIXTURE.
  - 4FT SURFACE-MOUNTED FLOURESCENT LIGHTING FIXTURE, WITH EMERGENCY BALLAST. PROVIDE UNSWITCHED HOT CONDUCTOR.
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  - PENDANT LIGHTING FIXTURE.
  - 2FT FLOURESCENT UTILITY LIGHTING FIXTURE.
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  - PHOTOELECTRIC TYPE SINGLE-STATION SMOKE ALARM; CONNECT TO ROOM REC/LTG CKT. PROVIDE 9VDC BATTERY BACKUP. WIRE ALL SMOKE ALARMS IN UNIT TO ALARM TOGETHER.
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  - FIRE ALARM STROBE.
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  - TELEPHONE OUTLET. PROVIDE DEVICE BOX, 3/4" CONDUIT STUBBED INTO ATTIC. CABLE BY OTHERS.
  - TV OUTLET. PROVIDE DEVICE BOX, 1" C. STUBBED INTO ATTIC. CABLE BY OTHERS.
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- CONDUIT (1/2" MIN) AND CONDUCTORS (#12 AWG MIN) CONCEALED IN WALLS, FLOOR, OR CEILING WHERE POSSIBLE. PROVIDE INSULATED GREEN EQUIPMENT GROUND (SIZE PER NEC) IN ALL RACEWAYS. CONNECT TO EQUIPMENT VIA FLEX. NOTE: FOR 20A BRANCH CIRCUITS, WHERE CONDUCTOR LENGTH EXCEEDS 100FT, CIRCUIT CONDUCTORS SHALL BE #10AWG, MIN. NM/MC CABLE ALLOWED IN CONCEALED LOCATIONS, WHERE PERMITTED BY CODE.

## NOTES

- Existing electrical panel to remain.
- All wiring shall be in accordance with the 2004 edition of the Florida building code (with 2005 supplements), 2005 edition of the National Electrical Code, the 2005 edition of the Florida Fire Prevention code, the 2002 edition of NFPA 72, National Fire Alarm code.
- Existing electrical in opened walls will meet the above referenced electrical codes and requirements.

### EMBASSY HOUSE APARTMENTS SINGLE STORY 1-BEDROOM UNIT

#### ELECTRICAL LOAD CALCULATION

H&C SQ. FT. AREA =	544
PATIO	90
<b>TOTAL =</b>	<b>634</b>

#### General Load

General Lighting and Receptacles	1632 VA
Two small appliance outlet circuits @ 1500 VA each	3000 VA
One Laundry Circuit @ 1500 VA each	1500 VA
Range	8000 VA
Dishwasher	1500 VA
Dryer	5000 VA
Hot Water Heater	4500 VA

#### General Load Summary

Subtotal general load	25132 VA
First 8 kVA at 100%	8000 VA
Remainder of general load at 40%	6853 VA
<b>Total net general load</b>	<b>14853 VA</b>

#### HVAC Information

Straight Cool/Strip Heat	5000 VA
--------------------------	---------

#### Totals

Net general load	14853 VA
Heat pump and supplementary heat	5000 VA
<b>Total</b>	<b>19853 VA</b>

#### Calculated Load for Service

	82.72 A
--	---------

#### Minimum main circuit breaker size for dwelling at 240/120 volt single phase service.

	100 A
--	-------

### EMBASSY HOUSE APARTMENTS TWO STORY 2-BEDROOM UNIT

#### ELECTRICAL LOAD CALCULATION

H&C SQ. FT. AREA =	1144
PATIO	90
<b>TOTAL =</b>	<b>1234</b>

#### General Load

General Lighting and Receptacles	3432 VA
Two small appliance outlet circuits @ 1500 VA each	3000 VA
One Laundry Circuit @ 1500 VA each	1500 VA
Range	8000 VA
Dishwasher	1500 VA
Dryer	5000 VA
Hot Water Heater	4500 VA

#### General Load Summary

Subtotal general load	26932 VA
First 8 kVA at 100%	8000 VA
Remainder of general load at 40%	7573 VA
<b>Total net general load</b>	<b>15573 VA</b>

#### HVAC Information

Heat pump and Supplemental Heat	7500 VA
---------------------------------	---------

#### Totals

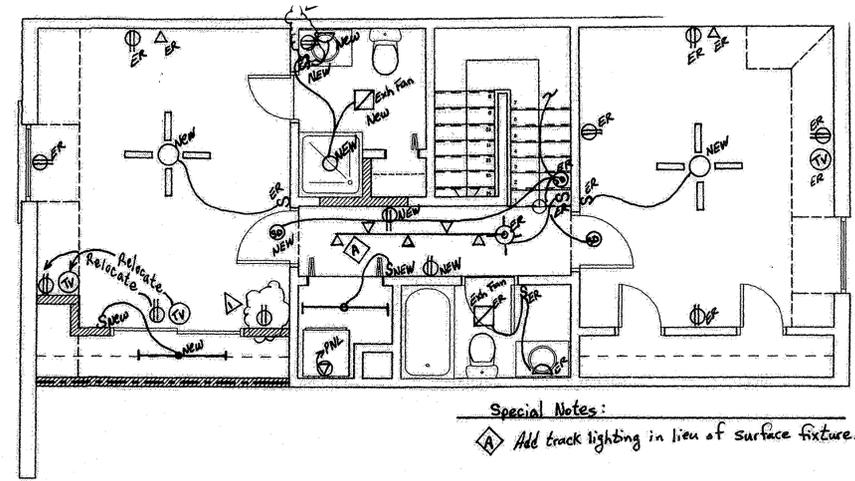
Net general load	15573 VA
Heat pump and supplementary heat	7500 VA
<b>Total</b>	<b>23073 VA</b>

#### Calculated Load for Service

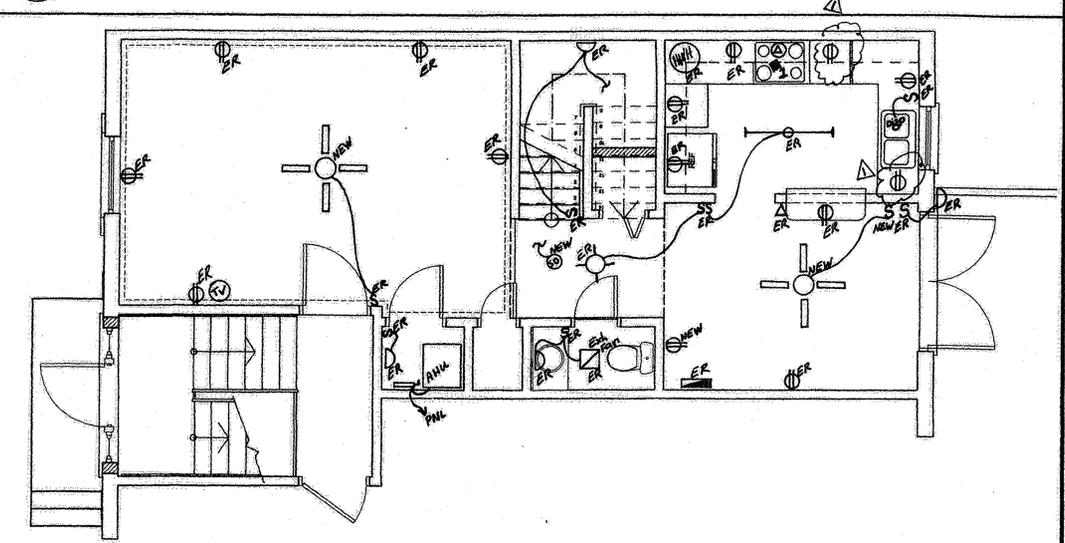
	96.13667 A
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#### Minimum main circuit breaker size for dwelling at 240/120 volt single phase service.

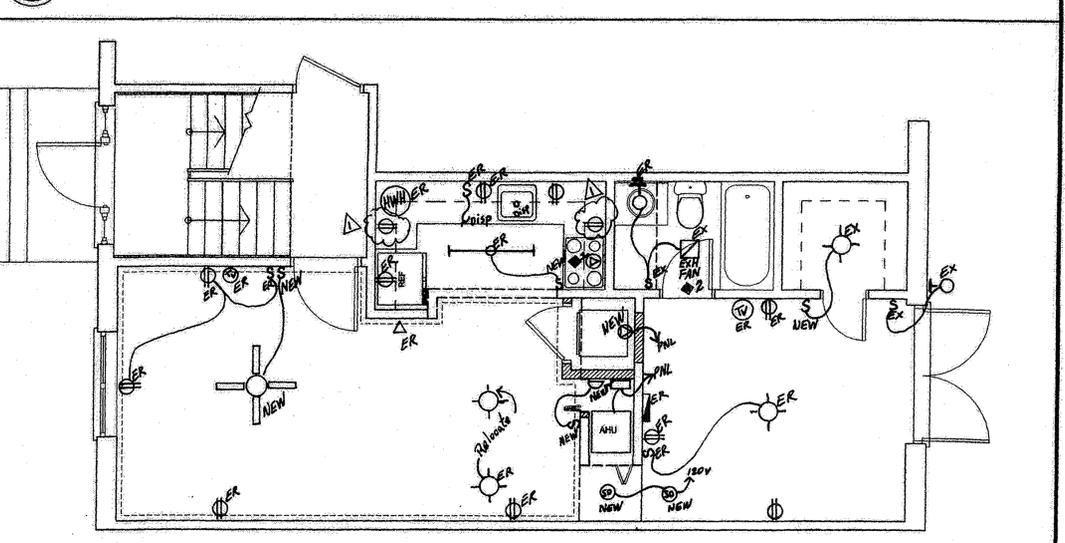
	100 A
--	-------



1 Electrical Plan - 2nd Floor - 2 BR Unit  
1/4" = 1'-0"



3 Electrical Plan - 1st Floor - 2 BR Unit  
1/4" = 1'-0"



2 Electrical Plan - 1 BR Unit  
1/4" = 1'-0"

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DESIGN DEVELOPMENT				3.			
80% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	PO/RL	R. LEWIS	8/16/06	5.			

Consultant:

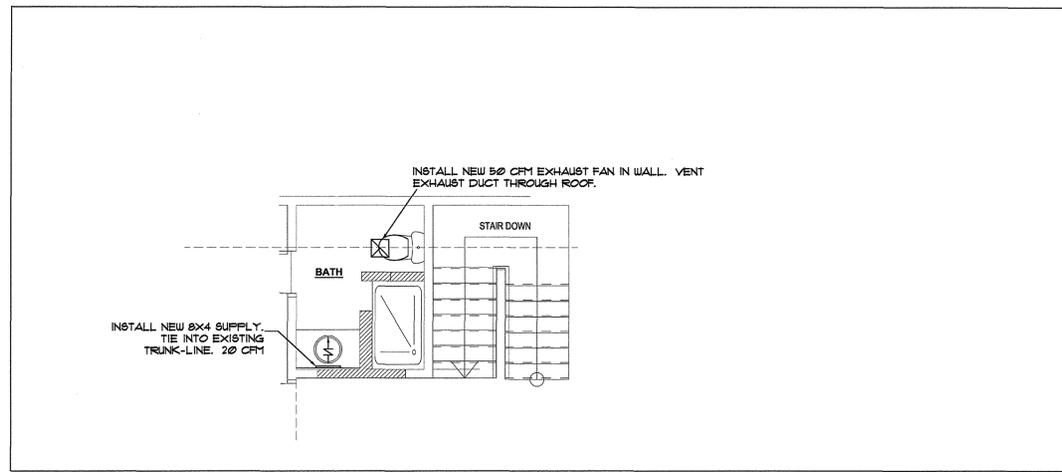
Consultant:

**WESTON TRAWICK**  
DATA COMMUNICATIONS • ELECTRICAL CONTRACTORS  
5392 Tower Road • Tallahassee, FL 32303-7968

Scale: 8-7-2007

**architects lewis + whitlock**  
501 east tennessee st., ste c  
tallahassee, fl. 32306  
phone: 942.1716 fax: 942.2110  
www.think3d.net

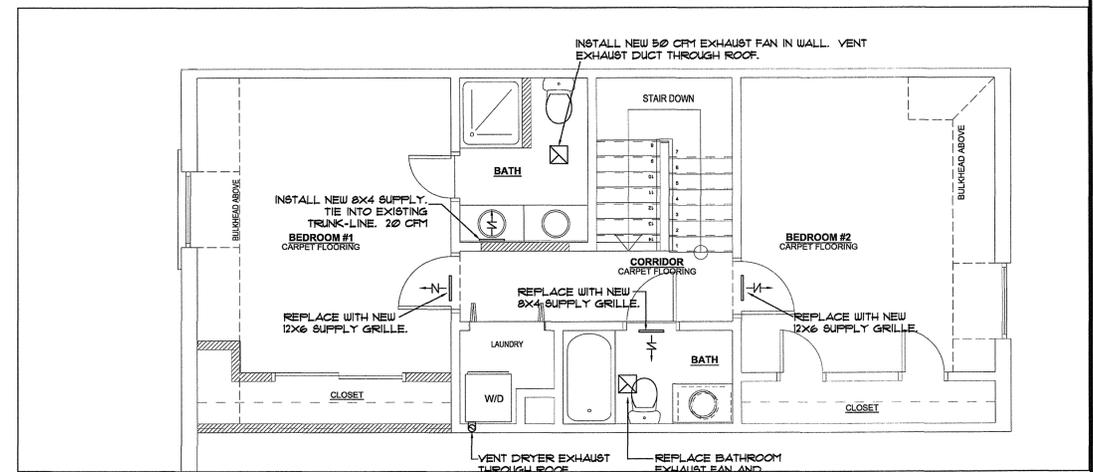
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Electrical Plan **SEE REVESED SHEET**



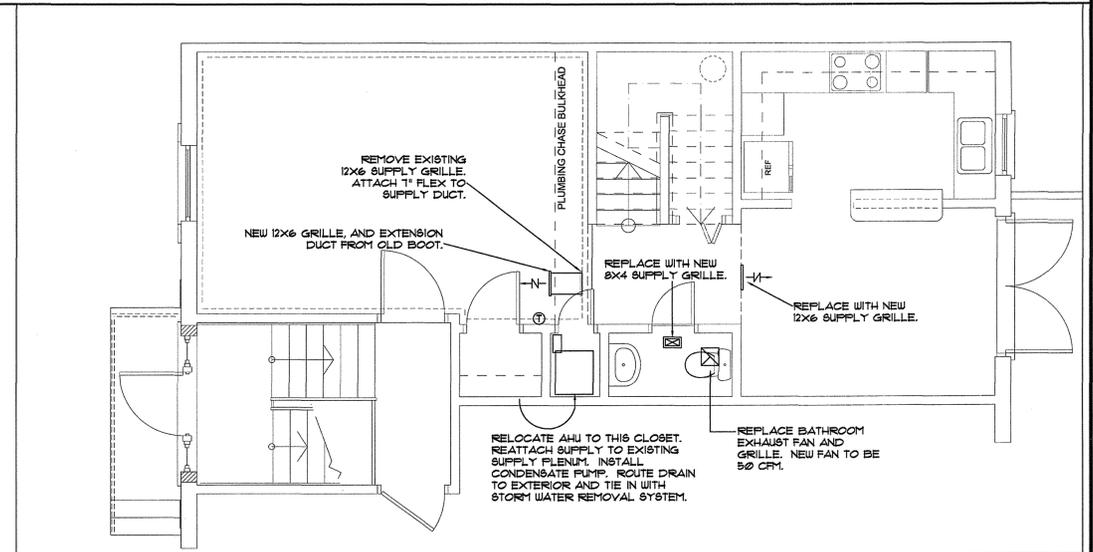
1 Alternate Bathroom - 2nd Floor - 2 BR Unit  
1/4" = 1'-0"

**GENERAL MECHANICAL NOTES**

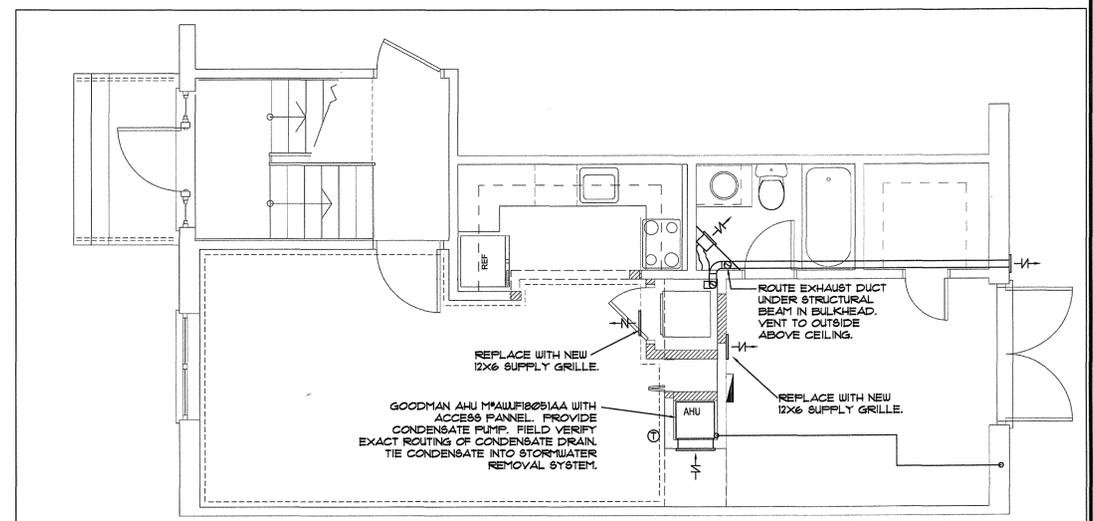
1. ALL DRYER EXHAUST DUCT TO BE 26 GA SHEET METAL PIPE. NO SCREWS ARE TO BE USED IN MAKING CONNECTIONS.
2. ALL FLEX DUCTS ARE TO BE R-6 INSULATED FLEX DUCT WITH FOIL JACKET AND VINYL LINER.
3. COORDINATE WORK WITH ALL OTHER TRADES.
4. ALL WORKMANSHIP TO COMPLY WITH MOST CURRENT EDITION OF THE FLORIDA BUILDING CODES, INCLUDING ALL REVISIONS.



2 Alternate Bathroom - 2nd Floor - 2 BR Unit  
1/4" = 1'-0"



3 Mechanical Floor Plan - 1st Floor - 2BR Unit  
1/4" = 1'-0"



4 Mechanical Floor Plan - 1 BR Unit  
1/4" = 1'-0"

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90% CONSTR. DOCUMENTS				4.			
PERMIT DOCUMENTS	JCP	RPW	8/7/07	5.			
100% CONSTR. DOCUMENTS				6.			

Consultant:  
Wilton Engineering, P.A.  
Robin Wilton, P.E.  
28 Lee Ave. Suite A  
Tallahassee, FL 32309 904-994-9376  
FL 06226

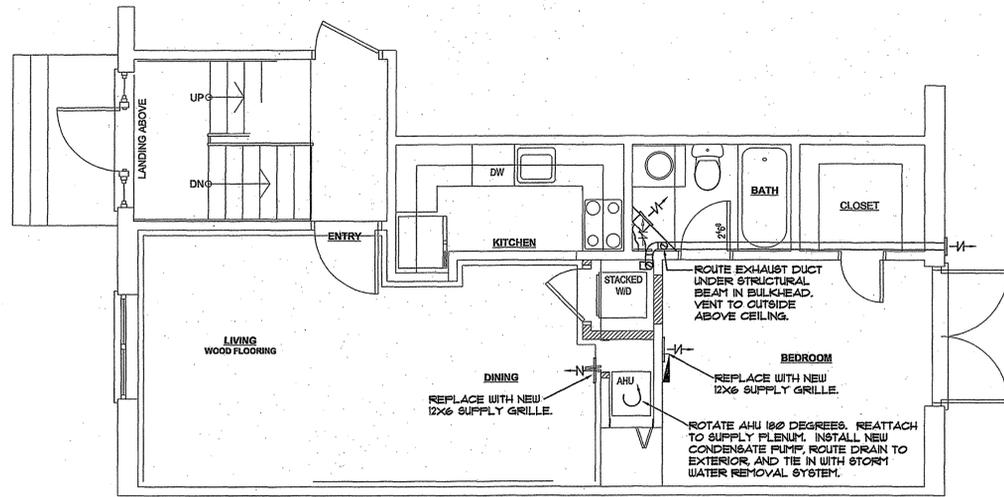
Consultant:  
Seal:

architects  
lewis + whitlock

501 east tennessee st., ste c  
tallahassee, fl. 32308  
phone: 942.1718 fax: 942.2110  
www.think3d.net

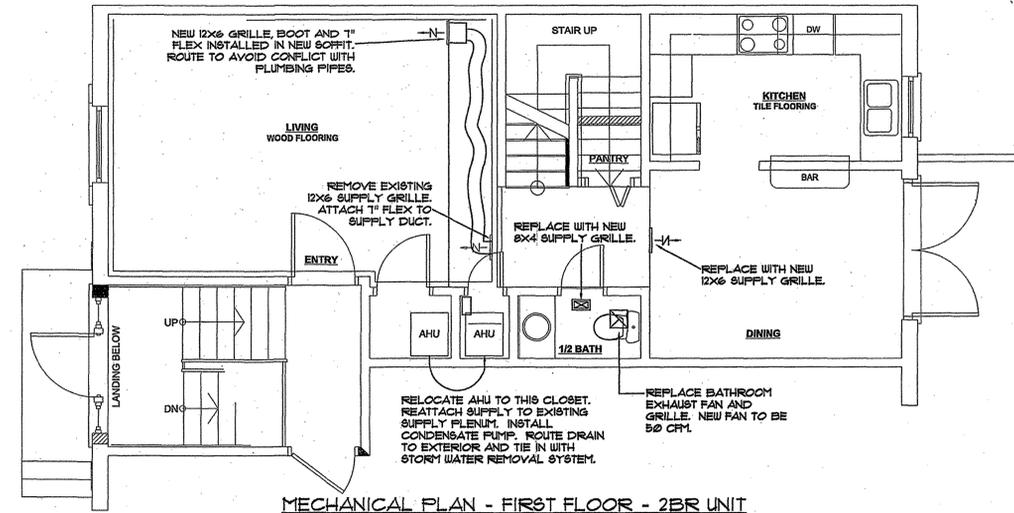
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Mechanical Plans and Notes

Sheet No.:  
M1.1

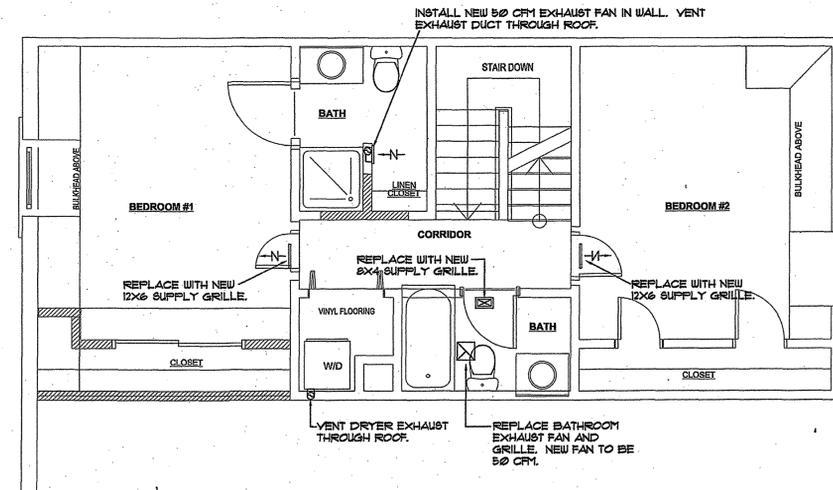


MECHANICAL PLAN - 1BR UNIT  
SCALE: 1/4" = 1'

- GENERAL MECHANICAL NOTES
1. ALL DRYER EXHAUST DUCT TO BE 26 GA SHEET METAL PIPE. NO SCREWS ARE TO BE USED IN MAKING CONNECTIONS.
  2. ALL FLEX DUCTS ARE TO BE R-6 INSULATED FLEX DUCT WITH FOIL JACKET AND VINYL LINER.
  3. COORDINATE WORK WITH ALL OTHER TRADES.
  4. ALL WORKMANSHIP TO COMPLY WITH MOST CURRENT EDITION OF THE FLORIDA BUILDING CODES, INCLUDING ALL REVISIONS.



MECHANICAL PLAN - FIRST FLOOR - 2BR UNIT  
SCALE: 1/4" = 1'



MECHANICAL PLAN - SECOND FLOOR - 2BR UNIT  
SCALE: 1/4" = 1'

EMBASSY HOUSE APARTMENTS  
TALLAHASSEE, FLORIDA

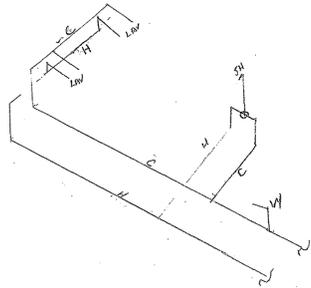
MECHANICAL PLAN AND DETAILS

PARKER AIR CONDITIONING AND HEATING SERVICES

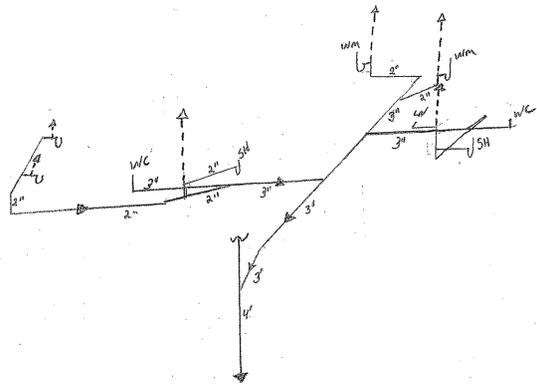
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1/24/2007 CHECKED BY: LCP  
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Embassy House

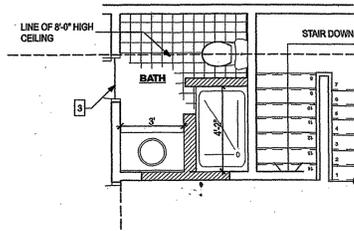


CFC1426662  
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**Mike Seeders**  
Plumbing, Inc.  
Commercial • Residential • New Construction

3981 Elder Lane  
Tallahassee, FL 32308

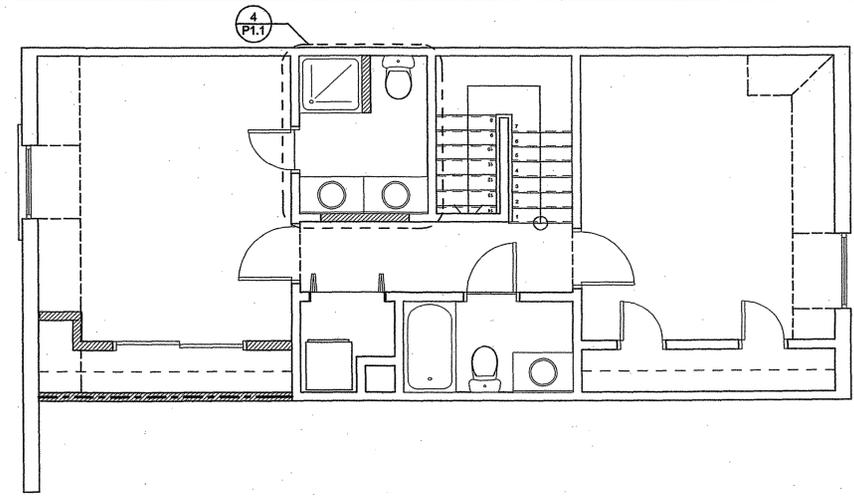
Call: 850.519.8441  
Office: 850.562.2555  
Fax: 850.972.4117



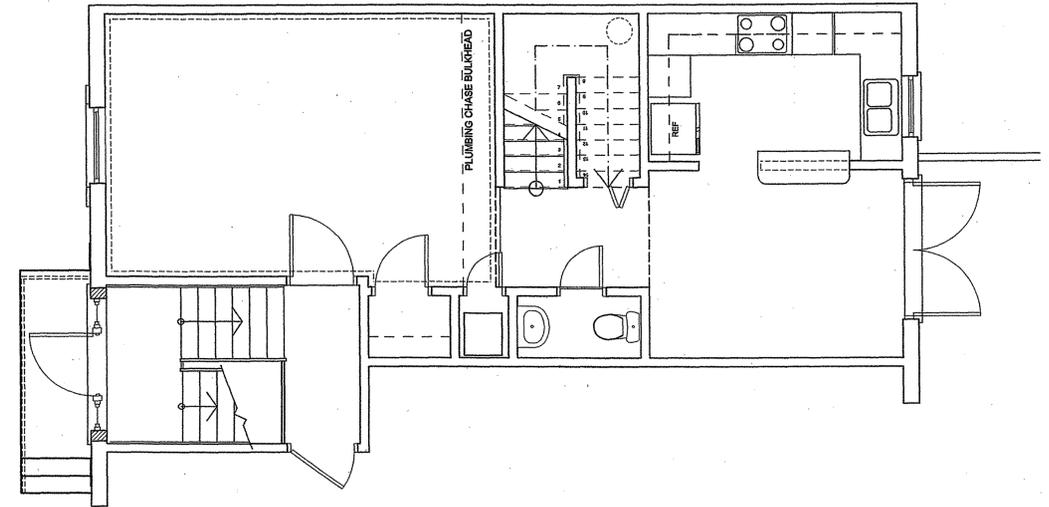
**4 Alternate Bath Plan**  
1/4" = 1'-0"

**PLUMBING SCHEDULE**

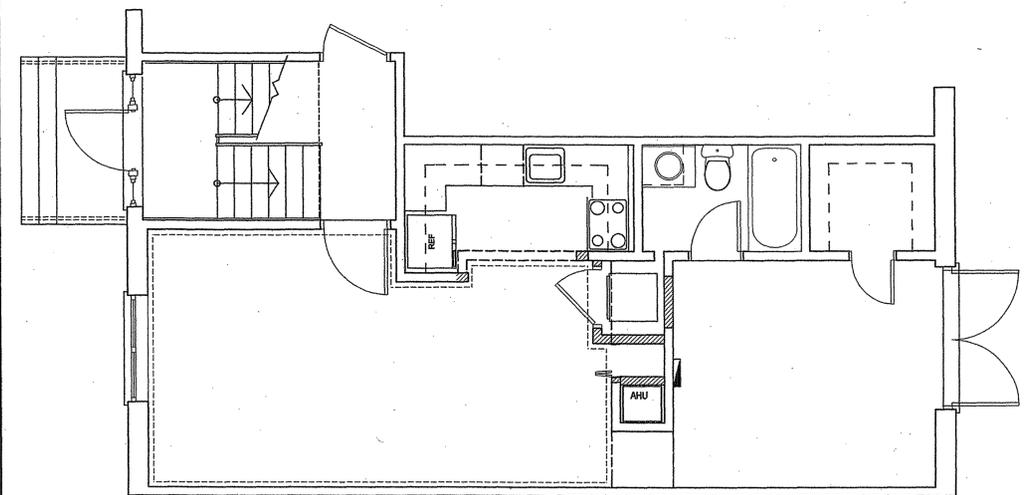
PFSF26303636WH -	SHOWER FLOOR IN INTERIOR 2BR UNITS
PF81BBN -	SHOWER VALVE
PF86002WH -	TUB
PFL1011MBM -	LAV FAUCET
PFL4011MBM -	KIT FAUCET
PF20174WH -	LAV SINK
PF1201WH -	TOILET BOWL - TYPICAL
PF3112WH -	TOILET TANK - TYPICAL
PF81MT STRMMN -	SHOWER TRIM
PF1200WH ROUND TOILET BOWL -	1/2 BATH 2BR
PF4600WH - PEDESTAL SINK BASE -	1/2 BATH 2BR
PF4604WH - PEDESTAL SINK BOWL -	1/2 BATH 2BR
PFT332284 -	33X22 DROP IN KITCHEN SINK
PFT252284 -	25X22 DROP IN KITCHEN SINK



**1 Mechanical Plan - 2nd Floor - 2BR Unit**  
1/4" = 1'-0"



**2 Mechanical Plan - 1st Floor - 2BR Unit**  
1/4" = 1'-0"



**3 Mechanical Plan - 1 BR Unit**  
1/4" = 1'-0"

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Consultant:

Consultant:

Seal:  
Robert M Seeders  
CFC 1426662  
Mike Seeders

**architects**  
**lewis + whitlock**  
501 east tennessee st., ste c  
tallahassee, fl. 32308  
phone: 942.1718 fax: 942.2110  
www.think3d.net

Description:

Plumbing Plans

Sheet No. **P1.1**

Client: Embassy House, LLC  
Project #: 06132  
Job Title: Tallahassee, FL  
Phase: 100% Construction Documents

FLAA0003316

ORIGINAL DESIGN  
EMBASSY HOUSE

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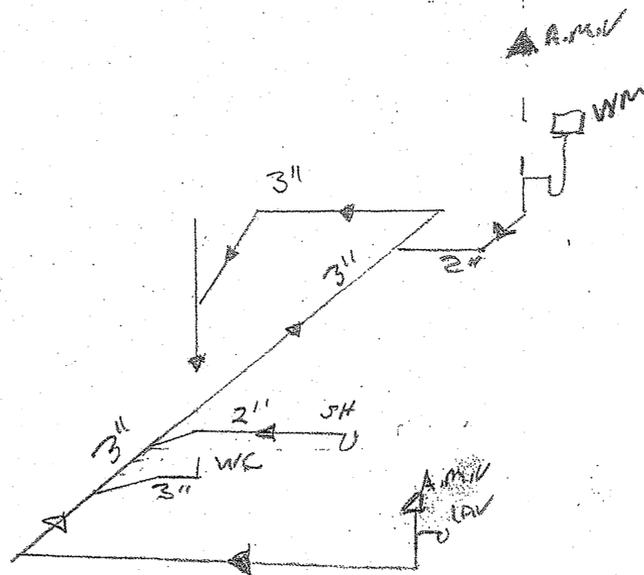
**Mike Seeders**

Plumbing, Inc.

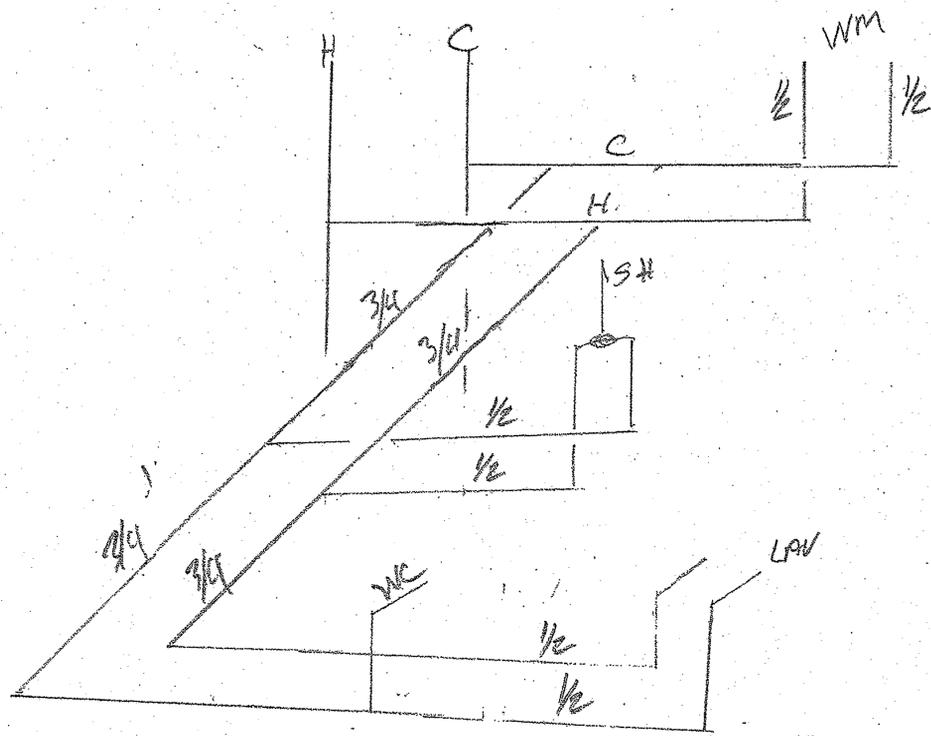
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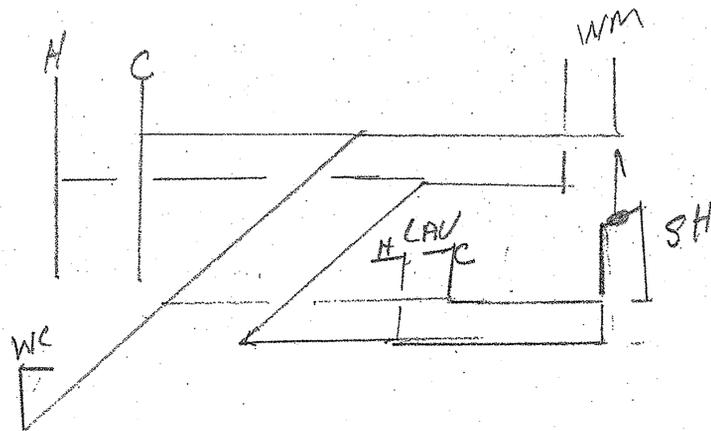


OK-01-10-07  
Daniel  
C. P.



O.K. 01-10-07  
 DARRI  
 P.P.F.





OK  
01-10-07  
Daniel  
C.P.F.

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